



PLANNING COMMISSION MEETING
Tuesday, March 10, 2026 at 5:30 PM
Council Chambers, City Hall at 540 West Hills Circle
Roll Call: Meier, Springer-Gasner, Rooks, Eickhoff,
Wilson, Peake, Effertz

1. Planning Commission Agenda

1.a. Planning Commission Agenda - March 10, 2026

2. Roll Call

3. Approval of Last Meeting Minutes

3.a. Planning Commission Minutes - February 10, 2026

4. Public Hearings

4.a. CUP-23 by Sean Williams, Owatonna Area Business Development Center on behalf of ISD #761, for a conditional use permit to construct Rose Street Center outdoor retail space as a minor PUD. The proposal includes eight 10' x 12' sheds, four food truck spaces, and a tent area with seating, in addition to the existing accessory structures on the site for the property located at 115 Rose Street East.

5. Downtown Parking Committee Requests

5.a. None

6. Other Business

6.a. Zoning & Subdivision Ordinance Process

6.b. Building Permit Updates

6.c. Updates on Previous Items

7. Next Meeting - March 24, 2026

8. Adjournment

Owatonna Planning Commission Agenda

Tuesday, March 10, 2026

5:30 PM

****Charles S. Crandall Center at West Hills****

Roll Call: Springer-Gasner, Rooks, Eickhoff, Wilson, Peake, Effertz, Joachim

1. Approve minutes of the February 10, 2026 meeting
2. Public Hearings
 - A) CUP-23 by Sean Williams, Owatonna Area Business Development Center on behalf of ISD #761, requests for a conditional use permit to construct Rose Street Center outdoor retail space as a minor PUD. The proposal includes eight 10' x 12' sheds, four food truck spaces, and a tent area with seating, in addition to the existing accessory structures on the site for the property located at 115 Rose Street E.
3. Downtown Parking Committee Requests

None
4. Other Business
 - A. Zoning & Subdivision Ordinance Process
 - B. Building Permit Updates
 - C. Updates on Previous Items
5. Next Meeting – March 24, 2026
6. Adjourn

OWATONNA PLANNING COMMISSION MINUTES FOR FEBRUARY 10, 2026

The Owatonna Planning Commission met in regular session at 5:30 p.m. in the Crandall Center – Chambers with Chairperson Kelly Rooks conducting the meeting. Present at roll call were Commissioners Kelly Rooks, Rachel Springer-Gasner, John Eickhoff, Mark Wilson, Nick Peake, Dave Effertz, and Jim Joachim. Community Development Manager Greg Kruschke, Planning Specialist Emma Bransford, and Senior Administrative Technician Kristen Kopp were also present.

A motion was made by Joachim and seconded by Wilson to approve the minutes of regular meeting of November 12, 2025. All Commissioners voting Aye, the motion carried.

Application VAR-24, which is a request by Scott Tuchtenhagen of Jones, Haugh, and Smith, on behalf of Wayne Fett, for a setback variance to allow a 20-foot front yard setback where a 30-foot setback is required and a 10-foot rear yard setback where a 20-foot rear yard setback is required for the properties located at 141 Allan Avenue SW and 690 Mound Street SW, was presented by Planning Specialist Emma Bransford. (Refer to report on file.)

Preliminary and Final Plat of Mound Addition, which is a 0.61± acre tract of land zoned B-2 Community Business District, owned by Wayne Fett, Mega Load Properties, LLC and Apex Pro Leasing, LLC, and located at 141 Allan Avenue SE and 690 Mound Street SW, was presented by Planning Specialist Emma Bransford. (Refer to report on file.)

Public hearing for VAR-24 and the Preliminary and Final Plat of Mound Addition opened at 5:36 pm. No comments were made regarding this request. Public hearing closed at 5:37 pm. Joachim said this is cleaning up the lots. Eickhoff said he didn't have any issues with it.

A motion was made by Eickhoff and seconded by Effertz to recommend City Council approval of VAR-24 to allow a 20-foot front yard setback where a 30-foot setback is required and a 10-foot rear yard setback where a 20-foot rear yard setback is required with the following condition:

- 1) No building alterations shall be made that causes further encroachment into the setbacks on either lot.

All Commissioners voting Aye, the motion carried.

A motion was made by Joachim and seconded by Springer-Gasner to recommend City Council approval of the preliminary and final plat of Mound Addition with the following conditions:

- 1) The final plat shall be recorded 60 days of the approval.
- 2) The title opinion shall be approved by the City Attorney prior to recording of the final plat.
- 3) Apex Pro Leasing, LLC and Mega Load Properties, LLC must enter into a shared parking agreement between Lot 1 and Lot 2 of Mound Addition. The parking agreement must be recorded with the final plat.
- 4) Approval of Application VAR-24 regarding building setbacks.

All Commissioners voting Aye, the motion carried.

Application VAR-23, which is a request by Scott Tuchtenhagen of Jones, Haugh, and Smith, on behalf of Wayne Fett, for a sign variance to allow for an off-premise sign in the B-2 District, was presented by Planning Specialist Emma Bransford. (Refer to report on file.) Public hearing opened at 5:40 pm. No comments were made regarding this request. Public hearing closed at 5:41 pm. A motion was made by Eickhoff and seconded by Effertz to recommend City Council approval of VAR-23 to allow for an off-premise sign in the B-2 district with the following conditions:

- 1) The sign shall require a building permit.
- 2) No additional freestanding signs shall be permitted on either side of the subject properties.
- 3) All temporary signage shall comply with Section 153.08 (D) of the subject property.

All Commissioners voting Aye, the motion carried.

Mojra Hauenstein and Derek Olinger from Bolton and Menk gave an update on the Zoning and Subdivision Ordinance Process. Olinger gave an update on sidewalks and street widths, asking Commissioners for input. Hauenstein gave an update on the timeline process. She said that the next workshop will be in April with a community open house in the spring.

Community Development Manager Greg Kruschke presented the monthly Building Permit updates. There are a couple new houses to start the year. In 2025 we ended with 15 new houses, which was more than 2024.

Community Development Manager Greg Kruschke gave an update on previous items.

A motion was made by Joachim and seconded by Peake to adjourn the meeting at 6:14 pm. All Commissioners voting Aye, the motion carried.

Respectfully Submitted,

Greg Kruschke
Community Development Manager

March 6, 2026

To: Planning Commission

From: Community Development Department

RE: CUP-23 by Sean Williams, Owatonna Area Business Development Center on behalf of ISD #761, requests for a conditional use permit to construct Rose Street Center outdoor retail space as a minor PUD. The proposal includes eight 10' x 12' sheds, four food truck spaces, and a tent area with seating, in addition to the existing accessory structures on the site.

Application Review

Applicant: Sean Williams, Owatonna Area Business Development Center (OABDC)

Owner: ISD #761

Location of Property: 115 Rose St E

Zoning Map: B-3, Central Business District

Zoning Ordinance: Section § 157.052 states that PUDs are a conditional use permit.

Report Attachments:

1. Location Map
2. Site Plan
3. Shop and Boardwalk Building Plans
4. Floor Plans
5. Drive Isle Photos
6. Narrative
7. City Engineer's Memo

Proposed Development

- CUP-23 by Sean Williams, Owatonna Area Business Development Center on behalf of ISD #761, requests for a conditional use permit to construct Rose Street Center outdoor retail space as a minor PUD.

Project Scope

- The Rose Street Center supports local entrepreneurs in testing and developing business ideas through a coworking and retail incubator space. Its purpose is to reduce barriers to

entry, improve access to resources, and provide a path to launching and growing a business locally.

- The outdoor retail space will serve as the final stage of the incubator pipeline. Entrepreneurs complete OABDC classes, obtain a coworking membership, sell in the indoor retail incubator, and expand to the outdoor retail spaces. Ultimately, the goal is to help transition business owners to a downtown brick-and-mortar store.
- The interior will include:
 - The Owatonna Makerspace with carpentry equipment, contained laser cutters, and 3D printers.
 - The Craft Apothecary with a reuse store and fiber arts equipment.
 - A Storage room, break room, community room, meeting rooms, welcome center, and an indoor retail incubator area.
- The two storage sheds located on the south portion of the lot will remain and be managed by ISD 761.
- No changes in footprint of the main building are proposed.
- Public hours of operation are as follows:
 - Main building:
 - Thursday 4pm – 8pm
 - Friday 10am – 8pm
 - Saturday 10am – 4pm
 - Sunday 11am – 4pm.
 - Outdoor shops and retail incubator:
 - Thursday 4pm – 8pm
 - Friday 10am – 5pm
 - Saturday 10am – 4pm
 - Sunday 11am – 3pm.
 - Makerspace and Craft Apothecary:
 - Thursday 4pm – 8 pm
 - Friday 2pm – 8 pm
 - Saturday 11am – 4pm
 - Sunday 11am – 4pm.
 - The building will also be accessible outside these hours to partner organizations and members of the coworking space and Owatonna Makerspace/Craft Apothecary.

Outdoor Retail Space

- Eight 120-square-foot retail shops with front porches will be constructed.
- Tenants will rotate through the shops as they advance in the incubator program.
- The shops will be constructed with conventional house siding.

- There will be four spaces for food trucks south of the retail shops with a tent and seating space in the middle. The tent and seating will not be permanent.
- A power pedestal will be located behind each shop and food truck space for electrical connection.
- A ramp will be built on the north end of the parking lot to provide ADA access to the building's front entrance at the northwest corner.
- The fence, flagpole, and monument on the north end of the lot will be removed to accommodate the ramp.
- The existing parking lot curb will remain for drainage, with the ramp constructed over it.
- The ramp will connect to a boardwalk providing ADA access to each shop. Landscaping rock will be installed adjacent to the boardwalk. A ramp at the south end will connect to the parking lot and food truck area.
- The boardwalk will be constructed of decking.

Signage

- Each shop will have uniform sign displaying the business name, updated as tenants rotate through. Each side is to not exceed 6 sq ft.
- A 4' x 3' sign reading "The Shops on Rose Street" will be mounted on the side of the northernmost shed.
- A 4' x 3' sign will be installed on the north side of the Rose Street Center, listing the coworking space, welcome center, makerspace, craft apothecary, and retail incubator.
- An A-frame sign with a QR code will be placed near the entrance to attract pedestrians from Cedar Avenue.

Access, Parking, and Circulation

- 19 60-degree angled parking spaces will be striped along the eastern portion of the lot.
- The drive aisle is 16 feet wide at the entrance to the parking area and gradually widens toward the southern portion of the lot.
- The bollards next to the proposed parking spaces will remain and be re-painted.
- Drive access will remain from Rose Street, with one-way circulation through the site and vehicles exiting via the alley on the west side.
- The remaining fence around the property will be removed to improve accessibility from Cedar Ave via the alleyways, and from the City parking lot located to the east.
- A waiver is being requested to accommodate the exiting parking dimensions.

FINDINGS OF FACT

1. The property is zoned B-3, Central Business District.
2. Notice was provided to all property owners within 350 feet of the subject property and published in the Owatonna Peoples Press.
3. A public hearing was held at the Planning Commission on March 10, 2026.
4. The request is not detrimental to or will endanger the public health, safety, morals, comfort, or general welfare of the public.
5. The request is compatible with the surrounding area.
6. The proposed use will not cause additional stress to existing traffic patterns, as the site provides adequate parking.
7. The request will not require public services out of the ordinary.

Public Comment

No public comments have been received by staff at the time of this report.

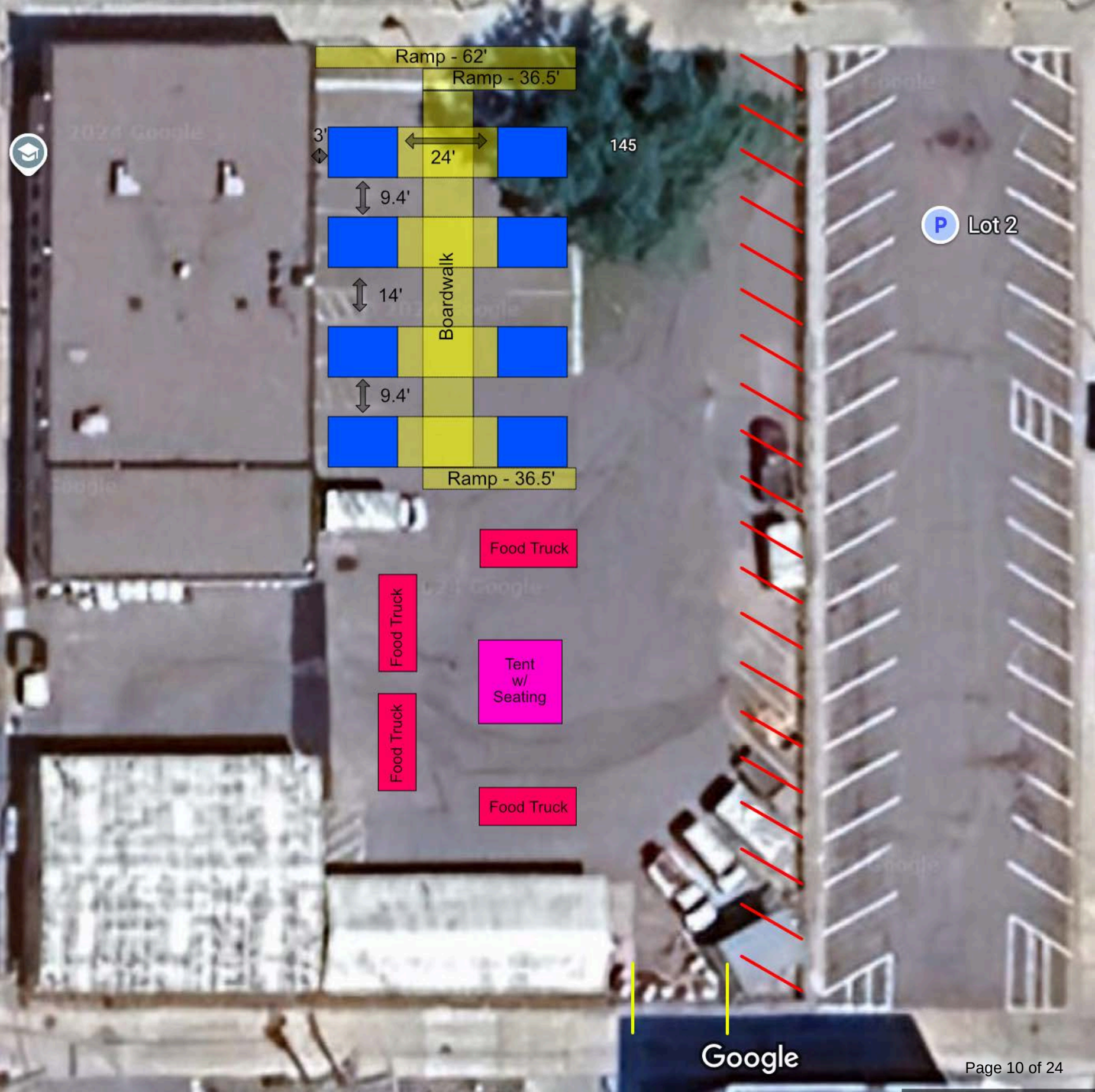
Staff Recommendation

Staff recommends approval of CUP-23, a request to construct Rose Street Center on the subject property located at 115 Rose St E on the following conditions:

1. A building permit must be obtained prior to construction.
2. All items in City Engineer's memo must be adhered to.
3. All signs must obtain separate permits per the approved PUD plan.
4. If any exterior lighting changes are made, a photometrics plan must be submitted and approved prior to the issuance of a building permit.
5. ADA-compliant parking is required to be met.
6. All parking spaces must be striped.



CUP-23 Rose St Center 131 Rose St E



Ramp - 62'

Ramp - 36.5'

3'

24'

145

9.4'

14'

Boardwalk

9.4'

Ramp - 36.5'

Food Truck

Food Truck

Tent
w/
Seating

Food Truck

Food Truck

P

Lot 2

LISTED DRAWINGS SCALE(S) UNLESS REDUCED FROM ORIGINAL 22 x 34 FORMAT

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1/26/26 3:48:54 PM

OWATONNA SHOPS AT ROSE

Owatonna, MN

CONSTRUCTION DOCUMENTS

01/05/2026

SYMBOLS LEGEND

	ROOM TAG
	REVISION TAG
	REFERENCE KEYNOTE TAG
	KEYNOTE TAG (STRUCT, MECH, ELEC)
	SECTION TAG
	DETAIL TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	CEILING EXIT SIGN, SINGLE OR DOUBLE FACE
	FINISH TRANSITION
	NORTH ARROW
	COLUMN/FND GRID INDICATOR
	ELEVATION TAG
	VIEW TITLE

PLAN OR DETAIL
SCALE: 1'-0" = 1'-0"

MOST COMMONLY USED ABBREVIATIONS

ABBREVIATIONS:		D		FR		MC		RFI		UG	
AB	ANCHOR BOLT/ROD	DBL	DOUBLE	FRP	FIRE RESISTANT/FRAME	MECH	MEDICINE CABINET	RFP	REQUEST FOR INFORMATION	UH	UNIT HEATER
ABV	ABOVE	DEMO	DEMOLITION, DEMOLISH	FS	FIBERGLASS REINFORCED PANEL	MEMB	MEMBRANE	RH	RIGHT HAND	UNFIN	UNFINISHED
AC	ASPHALTIC CONCRETE/AIR	DEPT	DEPARTMENT	FT	FOOT, FEET/FIRE TREATED	MEZZ	MEZZANINE	RL	RIDGE LINE	UNO	UNLESS NOTED OTHERWISE
ACC	ACCESSIBLE	DET	DETAIL	FTG	FOOTING	MFR	MANUFACTURE (R)	RM	ROOM	UTIL	UTILITY
ACM	ALUMINUM COMPOSITE MATERIAL	DF	DRINKING FOUNTAIN	FUR	FURRING	MIN	MINIMUM	RO	ROUGH OPENING		
ACOUS	ACOUSTICAL	DIA	DIAMETER	FUT	FUTURE	MISC	MISCELLANEOUS	ROW	RIGHT OF WAY	V	SHEAR
ADD	ADDENDUM	DIM	DIMENSION			MO	MASONRY OPENING	RWL	RAIN WATER LEADER	VAR	VARIES
ADH	ADHESIVE	DIV	DIVIDE, DIVISION	GA	GAGE, GAUGE	MR	MIRROR			VB	VAPOR BARRIER / VINYL BASE
ADJ	ADJUSTABLE, ADJACENT, ADJOINING	DISP	DISPENSER	GB	GRAB BAR	MTL	METAL	S	SOUTH	VCT	VINYL COMPOSITION TILE
AFF	ABOVE FINISH FLOOR	DN	DOWN	GC	GENERAL CONTRACTOR			SB	SPLASH BLOCK	VERT	VERTICAL
AFG	ABOVE FINISH GRADE	DR	DOOR	GALV	GALVANIZED	N	NORTH	SC	SOLID CORE	VEST	VESTIBULE
ALT	ALTERNATE	DS	DOWNSPOUT	GL	GLASS	NA	NOT APPLICABLE	SCHED	SCHEDULE	VIF	VERIFY IN FIELD
ALUM	ALUMINUM	DW	DISHWASHER	GLU LAM	GLUE LAMINATED (BEAM)	NIC	NOT IN CONTRACT	SCR	SHOWER CURTAIN ROD	VR	VAPOR RETARDER
APC	ACOUSTICAL PANEL CEILING	DWG	DRAWING (S)	GSB	GYP SUM WALL BOARD	NO	NUMBER	SCT	SECTION	VWB	VINYL WALL BASE
ARCH	ARCHITECT (URAL)	DWR	DRAWER	GYP	GYP SUM	NOM	NOMINAL	SD	SOAP DISPENSER	VWC	VINYL WALL COVERING
ASI	ARCHITECTURAL SUPPLEMENTAL INFORMATION	DWTR	DUMBWAITER			NTS	NOT TO SCALE	SF	SQUARE FOOT		
AWP	ACOUSTICAL WALL PANEL			HB	HOSE BIB			SHT	SHEET	W	WEST/WIDTH
		(E)	EXISTING	HC	HANDICAP / HOLLOW CORE	OC	ON CENTER	SHTHG	SHEATHING	WI	WITH
BD	BOARD	HD	HEAVY DUTY	HD	HARDWOOD	OD	OUTSIDE DIAMETER	SIM	SIMILAR	W/O	WITHOUT
BEV	BEVELED	HDBD	HARDBOARD	HDR	HEADER	OFCI	OWNER FURNISHED / CONTRACTOR	SLDG	SLIDING	WA	WEDGE ANCHOR
BFF	BELOW FINISH FLOOR	EA	EACH	HDWR	HARDWOOD			SLNT	SEALANT	WB	WOOD BASE
BL	BRICK LEDGE	EJ	EACH FACE	HM	HOLLOW METAL	OFOI	OWNER FURNISHED / OWNER	SND	SANITARY NAPKIN DISPENSER	WC	WATER CLOSET
BLDG	BUILDING	EL	EXPANSION JOINT	HORIZ	HORIZONTAL	OH	OVERHEAD	SNDU	SANITARY NAPKIN DISPOSAL UNIT	WD	WOOD/WOODWORK
BLKG	BLOCK (ING)	ELEV	ELEVATOR	HR	HOUR	OPP	OPPOSITE	SOG	SLAB ON GRADE	WDW	WINDOW
BM	BEAM	ENL	ENLARGED	HT	HEIGHT	OPG	OPENING	SPEC	SPECIFICATION (S)	WF (W)	WIDE FLANGE
BOT	BOTTOM	EMER	EMERGENCY	HSS	HOLLOW STRUCTURAL STEEL	ORIG	ORIGINAL	SSM	SOLID SURFACE MATERIAL	WG	WALL GUARD
BO	BOTTOM OF	ENGR	ENGINEER	HVAC	HEATING, VENTILATION, AIR-CONDITIONING	ORD	OVERFLOW ROOF DRAIN	SST	STAINLESS STEEL	WH	WATER HEATER
BOC	BOTTOM OF CONCRETE	EOP	EDGE OF PAVEMENT			OZ	OUNCE	ST	STREET	WI	WROUGHT IRON
BRG	BEARING	EPDM	ETHYLENE PROPYLENE DIENE MONOMER					STC	SOUND TRANSMISSION CLASS	WL	WIND LOAD
BRK	BRICK			IBC	INTERNATIONAL BUILDING CODE	PAR	PARALLEL	STD	STANDARD	WP	WATERPROOF (ING)
BSMT	BASEMENT	EPS	EXPANDED POLYSTYRENE BOARD	ID	INSIDE DIAMETER/DIMENSION	PCF	POUNDS PER CUBIC FOOT	STL	STEEL	WR	WATER RESISTANT
BTWN	BETWEEN	EPT	EPOXY PAINT	IN	INCHES	PCF	POUNDS PER CUBIC FOOT	STOR	STORAGE	WSC	WAINSCOT
		EQ	EQUAL	INCL	INCLUDING (D), INCLUDING	PERF	PERFORATED	STRUCT	STRUCTURAL	WT	WEIGHT/WINDOW TREATMENT
		EQ	EQUAL	INCL	INCLUDING (D), INCLUDING	PERP	PERPENDICULAR	SUSP	SUSPENDED	WWF	WELDED WIRE FABRIC
		EQUIP	EQUIPMENT	INFO	INFORMATION	PL	PLATE	SV	SHEET VINYL		
C	CHANNEL/CELSIUS	INS	INSPECTION	INSTR	INSTRUCTION(S)	PLAM	PLASTIC LAMINATE	SW	SHEARWALL		
CAB	CABINET	INSUL	INSULATION (D), INSULATION	INT	INTERIOR	PLYWD	PLYWOOD	SYM	SYMMETRICAL		
CB	CERAMIC BASE	INT	INTERIOR			PNL	PANEL			&	AND
CD	CONSTRUCTION DOCUMENTS	JAN	JANITOR			PR	PAIR/PROPOSAL REQUEST			L	ANGLE
CEM	CEMENT	JST	JOIST			PRCST	PRECAST CONCRETE	T	TREAD	LL	DOUBLE ANGLE
CF	CUBIC FEET OR FOOT	JT	JOINT			PREFAB	PREFABRICATE	T&B	TOP AND BOTTOM	@	AT
CG	CORNER GUARD	KCJ	KEYED CONSTRUCTION JOINT			PSI	POUNDS PER SQUARE INCH	TB	TONGUE AND GROOVE	d	PENNEY
CIG	CAST-IN-PLACE CONCRETE	KO	KNOCK OUT			PSF	POUNDS PER SQUARE FOOT	TBD	TO BE DETERMINED	#	POUND OR NUMBER
CJ	CONTROL/CONSTRUCTION JOINT					PT	PAPER TOWEL DISPENSER	TEMP	TEMPORARY/TEMPERED	Ø	ROUND OR DIAMETER
CL	CENTER LINE					PTD	PAPER TOWEL DISPENSER	TER	TERRAZZO		
CLG	CEILING					PTN	PARTITION	THD	THREAD (ED) (S)		
CLKG	CAULKING					PTR	PAPER TOWEL RECEPTACLE	THK	THICKNESS		
CLR	CLEAR, CLEARANCE					PVC	POLYVINYL CHLORIDE	THRU	THROUGH		
CMU	CONCRETE MASONRY UNIT							TB&D	TACKBOARD		
CO	CHANGE ORDER/CLEAN OUT							TL	TILE		
COL	COLUMN							TO	TOP OF		
COMB	COMBINATION							TOB	TOP OF BEAM		
COMP	COMPOSITE/COMPOSITION							TOC	TOP OF CONCRETE/CURB		
CONC	CONCRETE							TOD	TOP OF DECK		
CONN	CONNECT (ION)							TOF	TOP OF FOOTING (FOUNDATION)		
CONST	CONSTRUCTION							TOP	TOP OF PIER		
CONT	CONTINUOUS, CONTINUE							TOJ	TOP OF JOIST		
CONTR	CONTRACT (OR)							TOS	TOP OF SLAB/STEEL		
COORD	COORDINATE							TOW	TOP OF WALL		
CORR	CORRUGATED/CORRIDOR							TPD	TOILET PAPER DISPENSER		
CPT	CARPET							TKB	THERMOPLASTIC POLYOLEFIN		
CSMT	CASEMENT							TPN	TOILET PARTITION		
CT	CERAMIC TILE							TRANS	TRANSVERSE		
CTB	CARPET TILE BASE							TS	TUBE STEEL		
CTR	CENTER							TYP	TYPICAL		

INDEX TO DRAWINGS

SHEET INDEX - GENERAL

G-001 COVER SHEET

SHEET INDEX - ARCHITECTURAL

A-101 PLANS, ELEVATIONS, SECTIONS, AND DETAILS
A-102 SITE/BOARDWALK PLAN

SHEET INDEX - ELECTRICAL

E-001 ELECTRICAL SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES
ES101 ELECTRICAL SITE PLAN
E-101 ELECTRICAL PLANS

LOCATION MAP



PROJECT LOCATION



PLAN NORTH

DESIGN TEAM

TITLE/DISCIPLINE	NAME/CONTACT	COMPANY	PHONE	E-MAIL
PROJECT MANAGER	VON PETERSEN	TSP, Inc.	507.216.8284	petersenvj@teamtsp.com
PROJECT ARCHITECT	VON PETERSEN	TSP, Inc.	507.216.8284	petersenvj@teamtsp.com



TSP, Inc.
1500 Highway 52 North
Rochester, MN 55901

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CONSULTANTS

ARCHITECT

I Herby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name: Von Joshua Petersen

Signature:

Date: 09-29-2025 License #: 50887

PROJECT TITLE

OWATONNA
SHOPS AT ROSE

Owatonna, MN

ISSUES

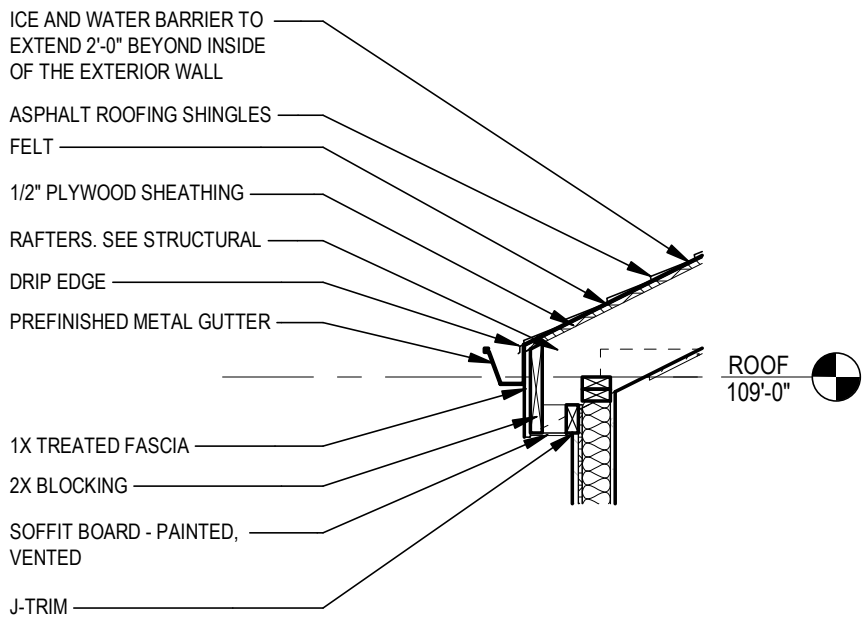
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ISSUE DATE	DRAWN BY	
01/05/2026	JPA	
PROJECT #	CHECKED BY	
01251229	VJP	
SHEET TITLE		

COVER SHEET

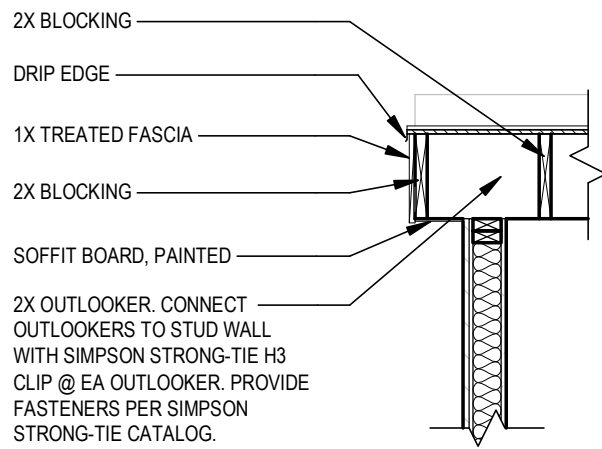
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G-001

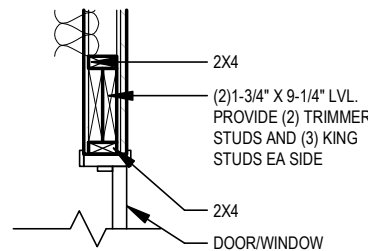
LISTED DRAWINGS SCALE(S) UNLESS REDUCED FROM ORIGINAL 22 x 34 FORMAT



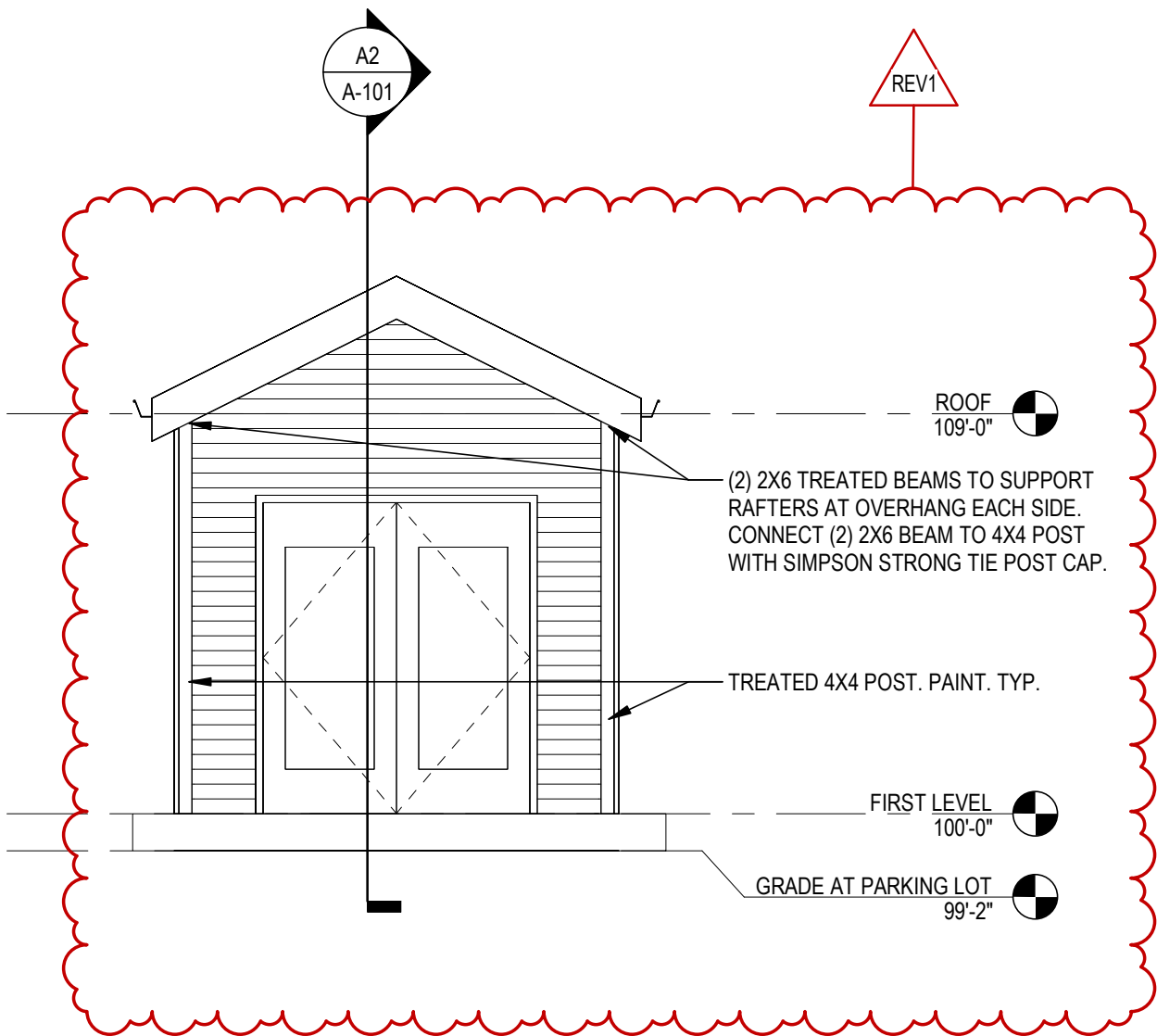
D1 EAVE DETAIL
SCALE: 1/2" = 1'-0"



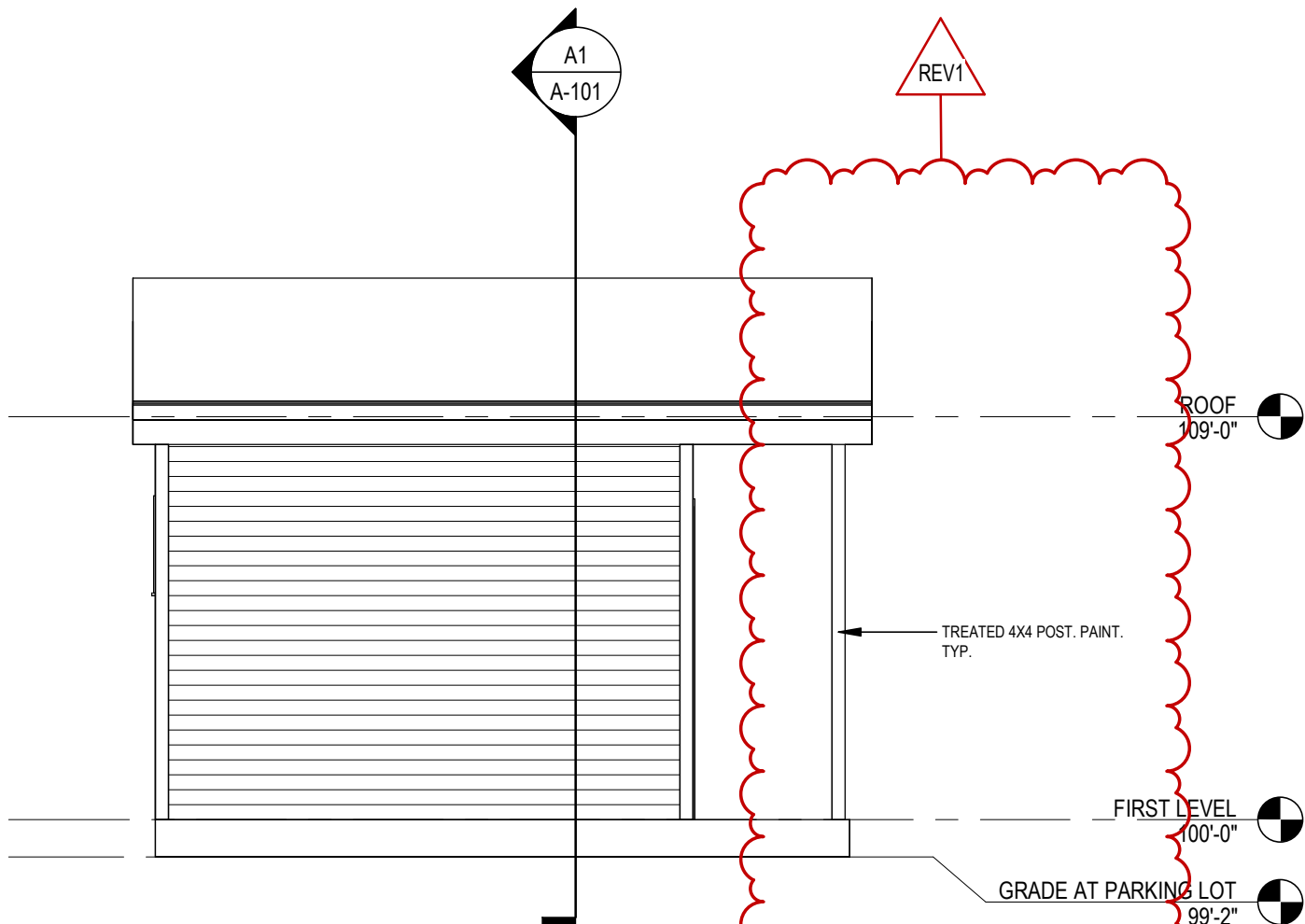
D2 GABLE END DETAIL
SCALE: 1/2" = 1'-0"



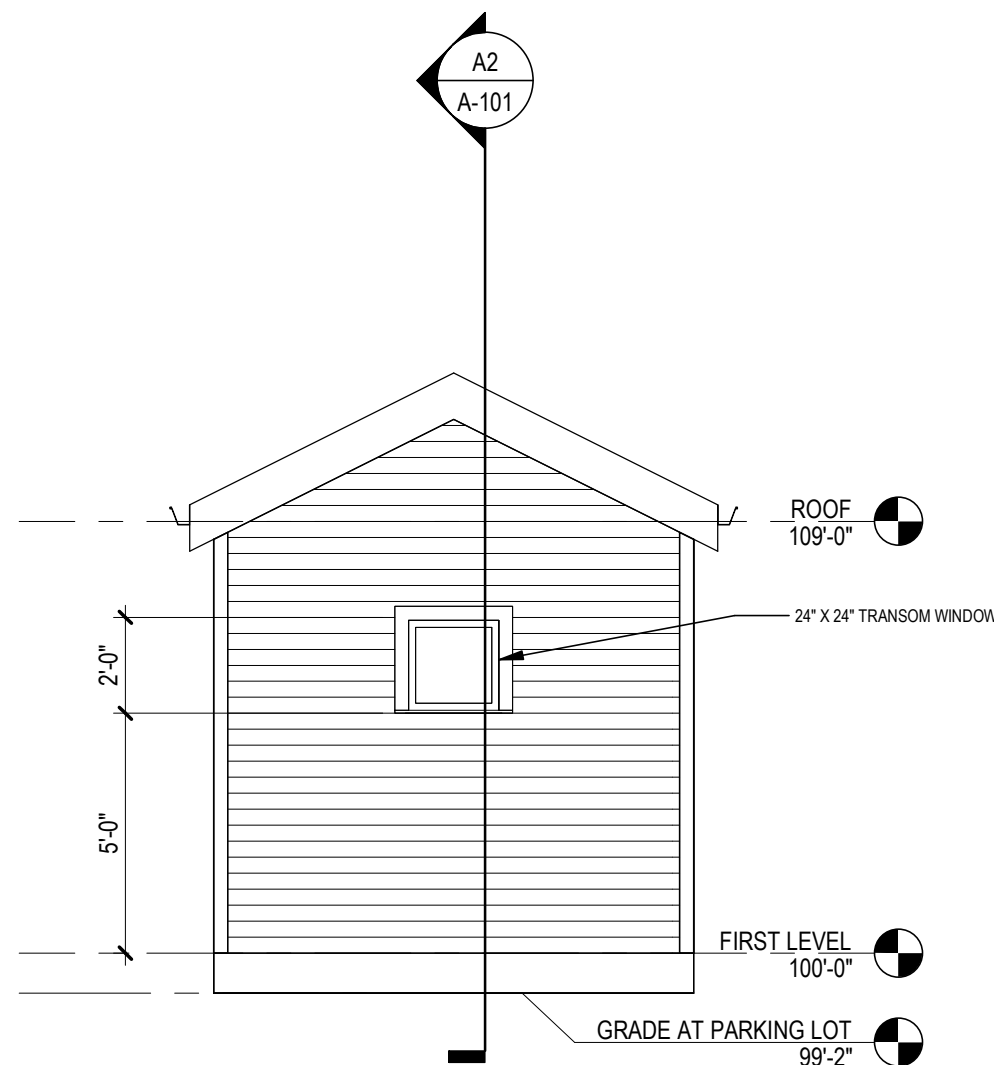
D4 WINDOW AND DOOR HEADERS
SCALE: 1/2" = 1'-0"



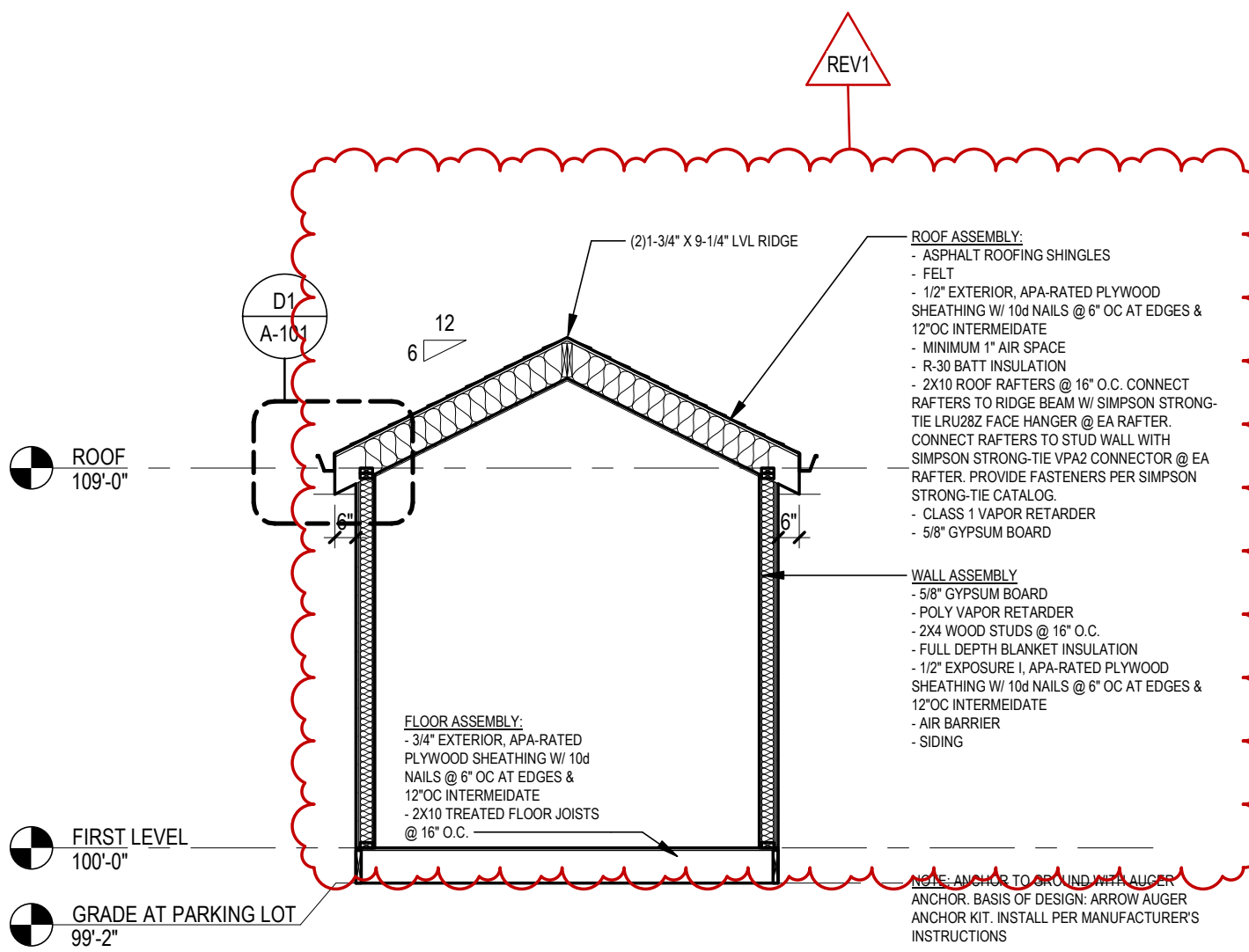
B1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



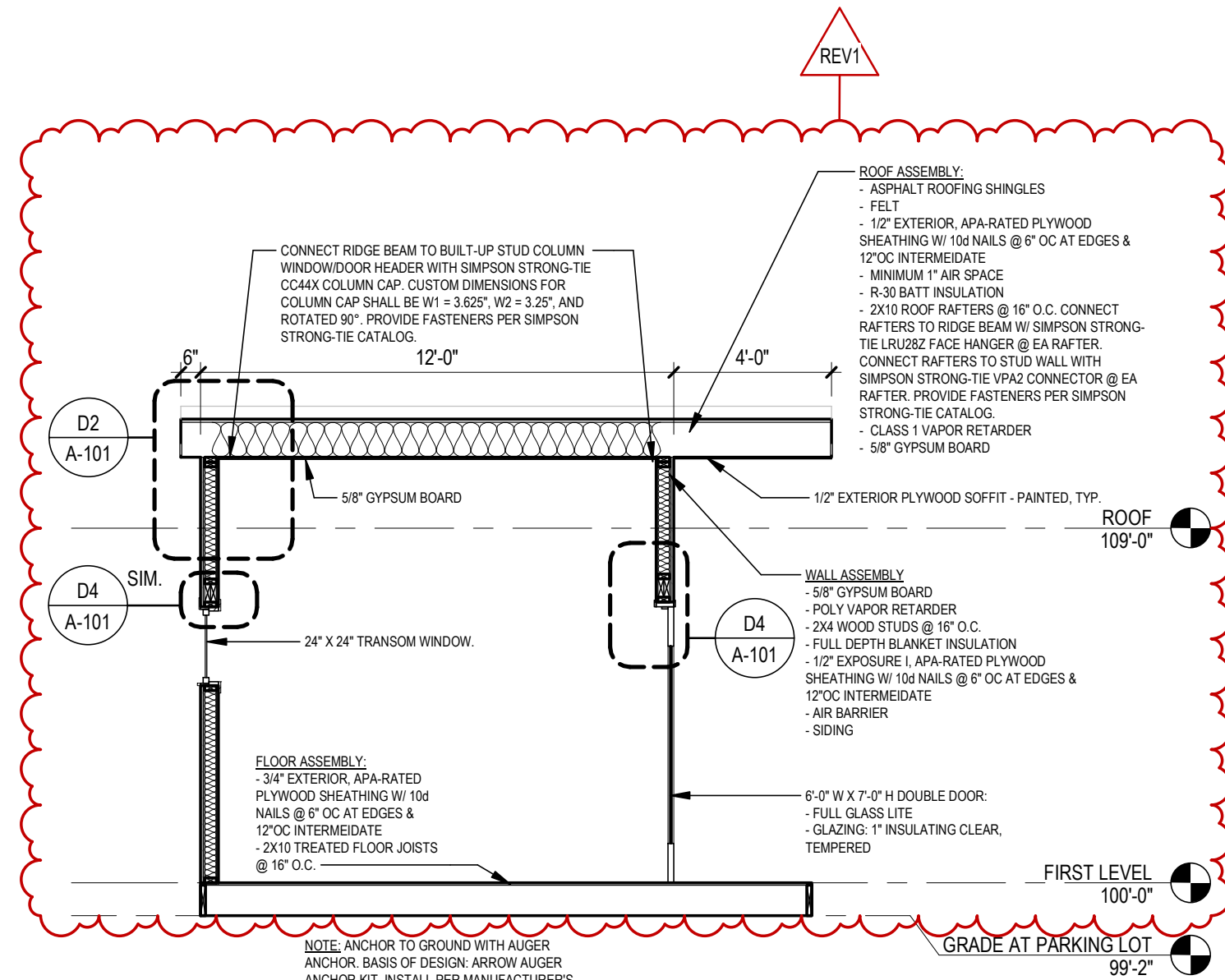
B2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



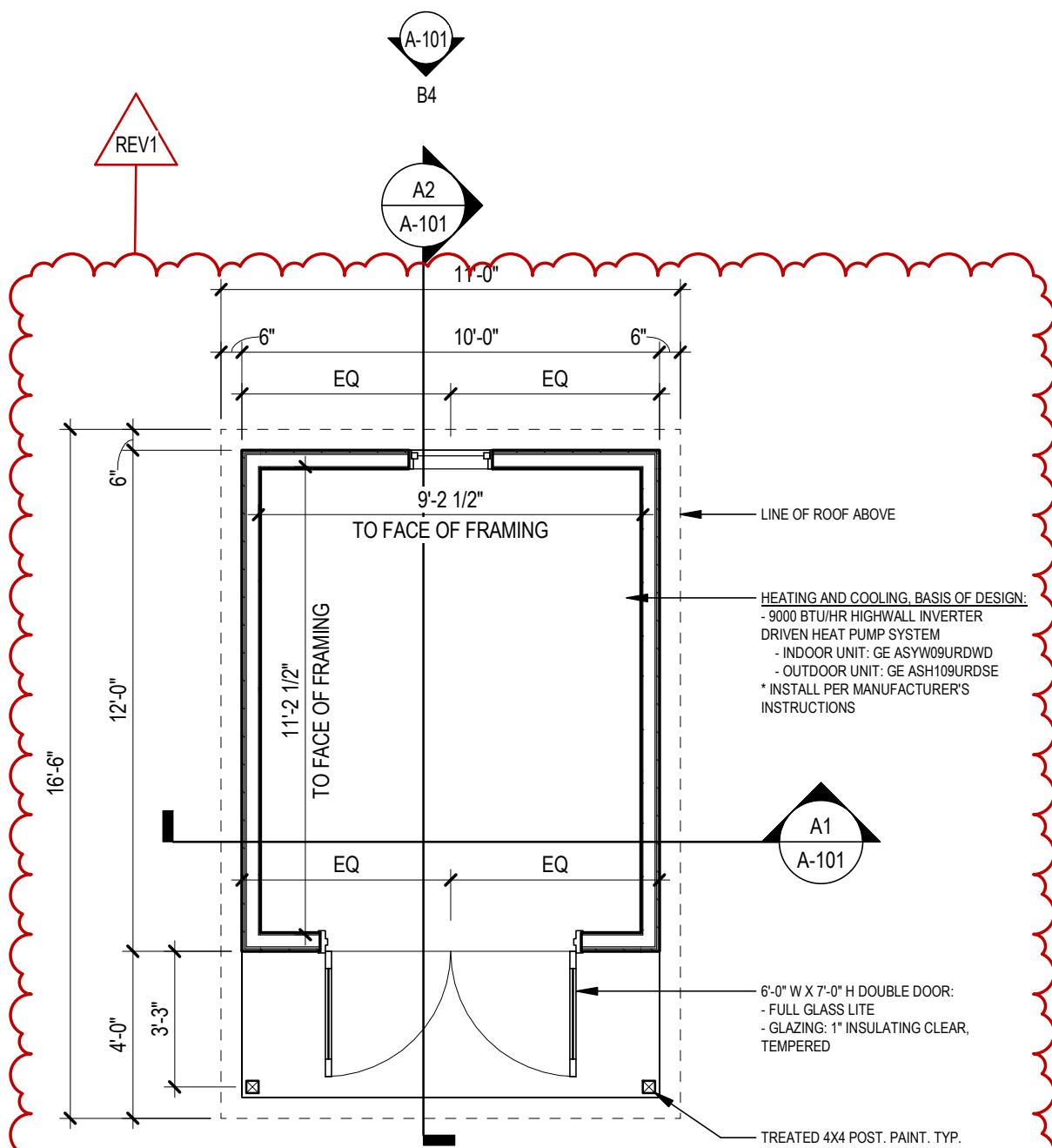
B4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



A1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



A2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



A4 FLOOR PLAN - FIRST LEVEL
SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

- PROVIDE BLOCKING AT PARTITIONS AS REQUIRED FOR MOUNTING OF FURNISHED AND NON-FURNISHED WALL MOUNTED ITEMS.
- ALIGN FINISHED FACE OF CONTINUOUS PARTITIONS THAT CHANGE PARTITION TYPES ALONG A STRAIGHT RUN.
- ALL WALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD, CMU, BRICK, OR CONCRETE, U.N.O.

EXTERIOR ELEVATION GENERAL NOTES

- APPLY SEALANT AND BACKER ROD TO ALL JOINTS BETWEEN DISSIMILAR MATERIALS.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. CONTACT A/E WITH DISCREPANCIES.



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ARCHITECT

I Herby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name: Von Joshua Pjansen

Signature:

Date: 09-29-2025 License #: 50887

PROJECT TITLE

OWATONNA SHOPS AT ROSE

Owatonna, MN

ISSUES

REV	DATE	REVISION
REV1	01/05/2026	REVISION 1
ISSUE	DATE	DESCRIPTION

ISSUE DATE: 01/05/2026
DRAWN BY: JPA

PROJECT #: 01251229
CHECKED BY: VJP

SHEET TITLE

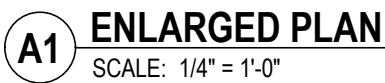
PLANS, ELEVATIONS, SECTIONS, AND DETAILS

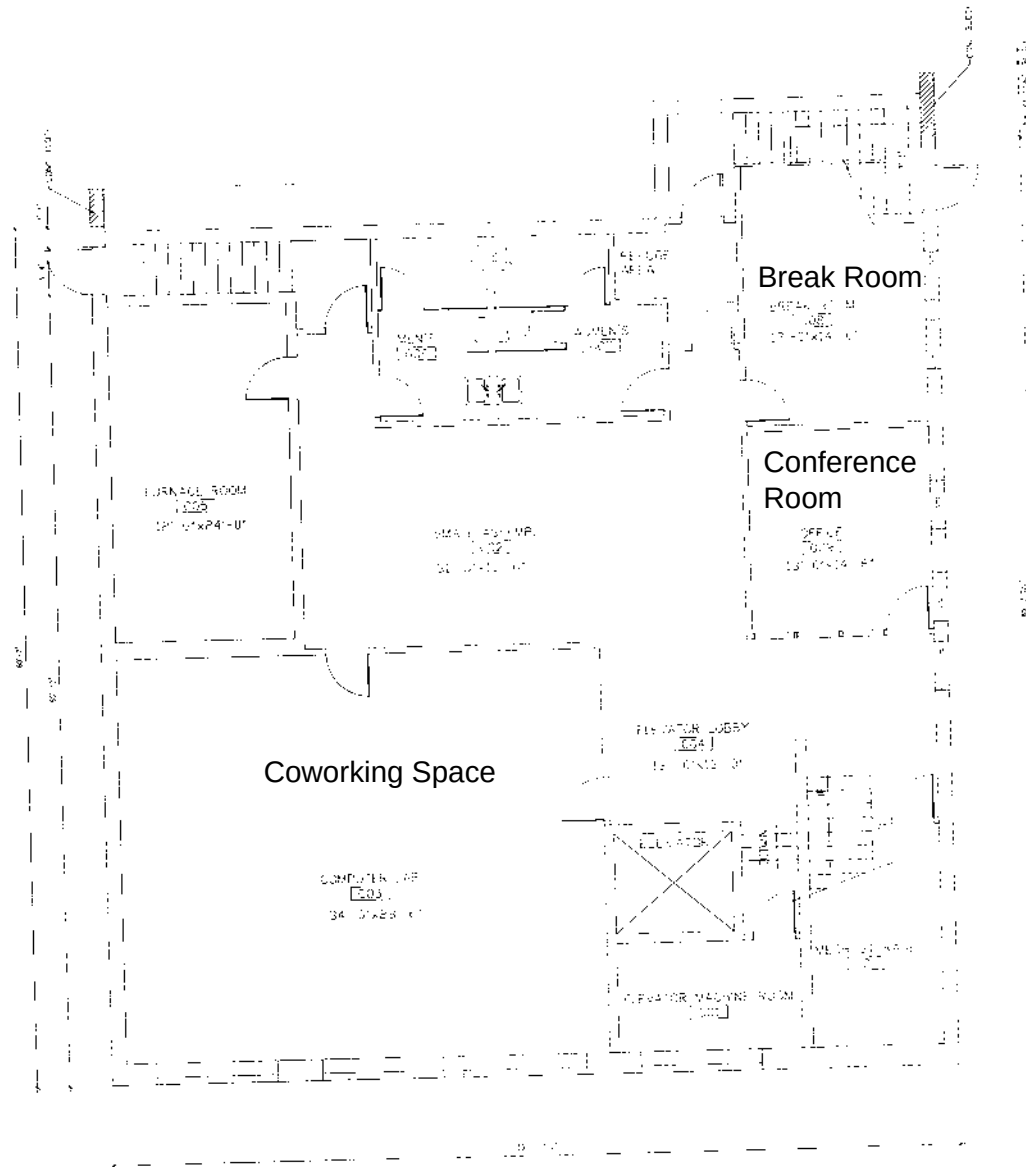
SHEET NUMBER

A-101



A-102



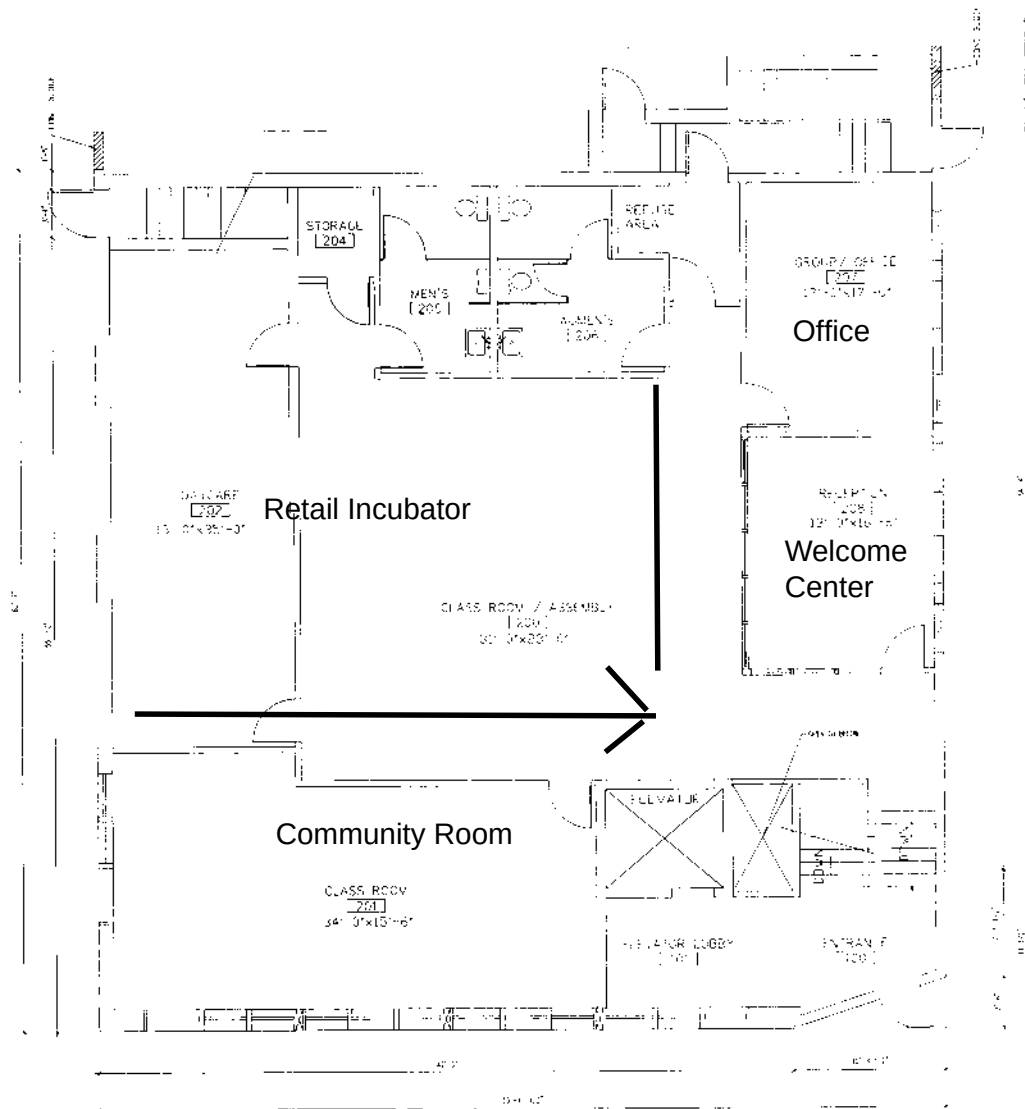


BASEMENT FLOOR PLAN
11/14/17

COPY

I&S Engineers & Architects, Inc. 1000 W. 10th Street, Suite 100 Oklahoma City, Oklahoma 73106 Phone: (405) 234-1234 Fax: (405) 234-1235 Email: info@is-engineers.com	
PROJECT NO. 17-001 SHEET NO. 11/14/17	DATE: 11/14/17 BY: [Signature] CHECKED: [Signature] APPROVED: [Signature]
PROJECT NAME: [Project Name] CLIENT: [Client Name] LOCATION: [Location]	SCALE: 1/8" = 1'-0" NORTH ARROW: [North Arrow]

A1



FIRST FLOOR PLAN
1/8"=1'-0"

COPY

A2	02 4402	02 4402	FIRST FLOOR PLAN A	COMMUNITY ROOM WELCOME CENTER OFFICE	12'-0" x 16'-0" 15'-0" x 35'-0" 12'-0" x 16'-0"	12'-0" x 16'-0" 15'-0" x 35'-0" 12'-0" x 16'-0"	12'-0" x 16'-0" 15'-0" x 35'-0" 12'-0" x 16'-0"	I&S Engineers & Architects, Inc. 15000 BAYVIEW BLVD., SUITE 100 BAYVIEW, MI 48064 (313) 487-1100 FAX (313) 487-1101 WWW.ISEA-ARCH.COM
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1 LAYER 1/2" TYPE 'X' GYPSUM BOARD EACH SIDE
3/4" METAL STUDS
MINERAL FIBER INSULATION

3 LAYERS 1/2" TYPE 'X' GYPSUM BOARD EACH SIDE
1/2" METAL STUDS
MINERAL FIBER INSULATION

1 WALL TYPE 'B'

2 WALL TYPE 'A'

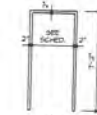
DOOR SCHEDULE									
DOOR NO.	DOOR SIZE	DOOR TYPE	DOOR FINISH	FRAME TYPE	HANDLE	LOCK	SWITCH	NOTES	REMARKS
102	2'-4 1/2" x 7'-0 1/2" (PR)	(A)	PAINT	1	---	---	---	7	20PIN CLOSER/CLASSROOM 1 LEVER LOCKSET
103	8'-0 1/2" x 7'-0 1/2" (PR)	(A)	PAINT	1	---	---	---	7	--- LEVER LOCKSET
104	2'-4 1/2" x 7'-0 1/2" (PR)	(A)	PAINT	1	---	---	---	7	20PIN LEVER LOCKSET HINGES
105	EXISTING	(A)	PAINT	1	---	---	---	---	20PIN LEVER LATCHSET STOP
106	8'-0 1/2" x 7'-0 1/2" (PR)	(A)	PAINT	1	---	---	---	7	20PIN CLOSER
107	EXISTING	(A)	PAINT	1	---	---	---	---	--- CLOSER

DOOR TYPES

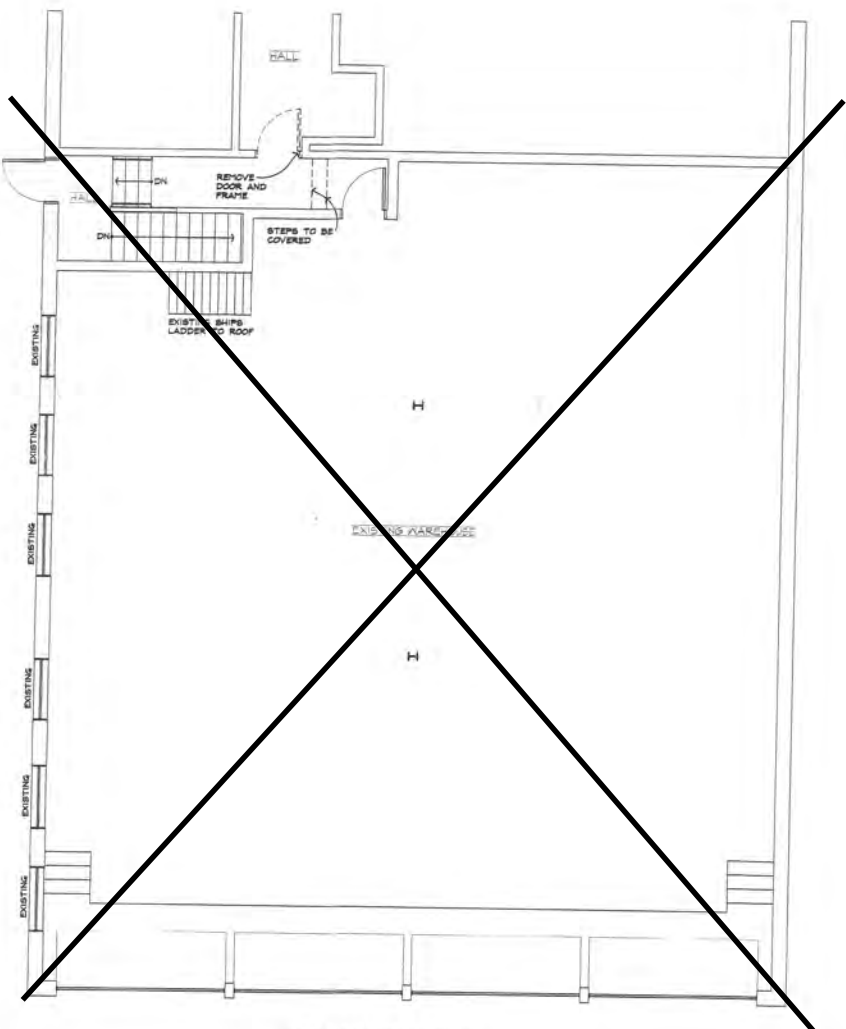


HOLLOW METAL (PRIME & PAINT) 16 GAUGE

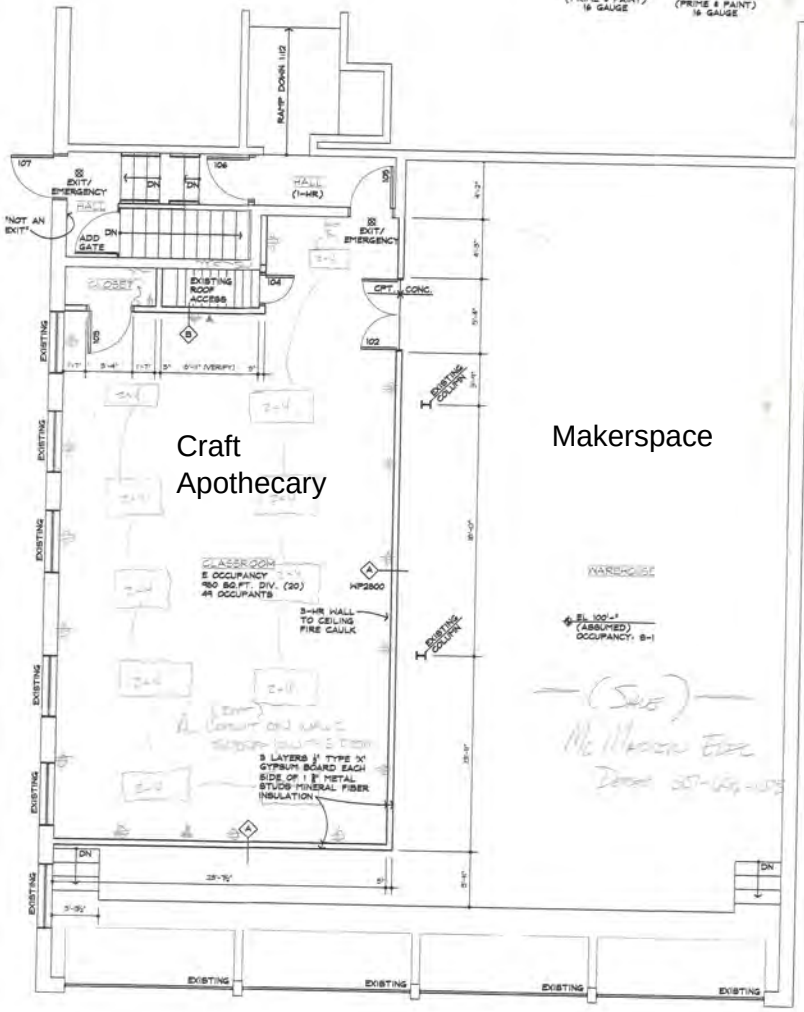
FRAME TYPES



HOLLOW METAL (PRIME & PAINT) 16 GAUGE



3 EXISTING DEMO PLAN
SCALE: 1/4"=1'-0"



4 FLOOR PLAN
SCALE: 1/4"=1'-0"



DAVID J. MEDIN
ARCHITECT
12575 150TH AVE
NEBRASKA, MINNESOTA 55053
PHONE (952) 941-2222 CELL (952) 723-5071
FAX (952) 461-7100

DESIGNER: DAVID J. MEDIN
PROJECT: OWA AT SCHOOL CLASSROOM REMODEL
DATE: 05/11/2016
REV: NO. 001

OWA AT SCHOOL
CLASSROOM REMODEL
OWA AT SCHOOL
CLASSROOM REMODEL
OWA AT SCHOOL
CLASSROOM REMODEL

PROJECT: 0001
CHECKED BY: JLM
DATE: 05/11/2016

PROJECT: 0001
CHECKED BY: JLM
DATE: 05/11/2016

A1

C:\Users\TDC\Project\Projects\06027-Owa At School Classroom Remodel\06027.dwg, 7/13/2006 10:35:32 PM, Designtool 2408.pcd





What are you planning on doing?

The Rose Street Center is a collaboration between the school district, City of Owatonna, Owatonna Public Utilities, Owatonna Area Business Development Center, Owatonna Area Chamber of Commerce and Tourism, and Alliance for Greater Equity. It will include a Welcome Center, interior Retail Incubator retail space, The Craft Apothecary material reuse retail space, Owatonna Makerspace, Community Room, Coworking Space, and common and storage areas. The exterior of the building will include up to eight (8) 12'x14' shops (10'x12' exterior structure with 12'x2' deck on front) on PID 17-100-2019. These shops will initially be built as temporary structures, with a plan to make them permanent in the future. The shops will be constructed within the next year, as weather allows.

A ramp will be constructed on the north end of the parking lot to give handicap access into the front entrance to the building, located on the northwest corner of the structure. The fence, flagpole, and monument on the north end of the lot will be removed in order to install the ramp. The existing curb in the parking lot will remain to direct water, with the ramp to be built on top of it. The ramp will connect to a boardwalk, which will connect to each of the shops to provide handicap accessibility. Small landscaping rocks will fill the spaces around the boardwalk. A ramp on the south end of the boardwalk will give access to the parking area and food truck area.

In addition to the shops, space will be allocated to the south for up to four (4) food trucks to park, along with tents, tables, and chairs for seating.

The remaining fence around the property will be removed to improve accessibility from Cedar Ave via the alleyways, and from the City parking lot located to the east; the bollards to the east of the property will remain and be painted, due to the difficulty in removing them.

On PID 17-100-2018, nineteen (19) diagonal parking spaces will be painted to mirror those on the City lot immediately adjacent to it to the east, with one (1) handicap accessible aisle. A transition from the parking lot to the alley will be put in on the south end of the lot, to allow cars to exit the lot into the alleyway, making the lot a one-way parking lot, replicating the functionality of the City lot to the east.

A small sign will be fixed to each shop, with the name of the business inside on it. These will be uniform, and change with the tenant. A 4'x3' sign will be affixed to the side of the northernmost shed, advertising "The Shops on Rose Street." A similar 4'x3' sign will be affixed to the north side of the Rose Street Center, listing the coworking space, welcome center, makerspace, craft apothecary, and retail incubator inside. An A-frame sign/kiosk with a QR code will be used near the entrance to attract pedestrians from Cedar Ave.

The landlord will maintain use of the two structures to the south of PID 17-100-2019 and PID 17-100-2020 for storage.

Inside the Rose Street Center, the following improvements and usage will be taking place:

- The safe located on the lower level has been made to be permanently open, and will be used for storage.

- The space to the east of the safe on the lower level will be used as storage and as an overflow classroom under “like use” with the community room.
- The room on the northeast corner of the lower level will be a coworking space with memberships.
- Phone booth-sized meeting rooms will be added to the hallway just south of the coworking space for private conversations and video calls.
- The meeting room and kitchen/breakroom in the lower level will be used as common areas by all tenants.
- A removable guardrail will be added to the south side of the top floor in the loading dock, to prevent accidental falls but still allow for freight delivery.
- The southeast corner of the upper floor will be used as the Owatonna Makerspace, including some carpentry equipment, contained laser cutters, and 3-D printing equipment, among others. No welding will take place in this space.
- The southwest corner of the upper floor will be used as the Craft Apothecary reuse store and classroom, with some fiber arts equipment included.
- The door between the two spaces will be widened to meet accessibility requirements.
- The door to the north of the Craft Apothecary space, connecting to the rest of the building, will be flipped to open inward to the Craft Apothecary space, to make it handicap accessible.
- Handrails may be added to the ramp to the north of the Craft Apothecary if needed.
- The northeast corner of the upper floor will be a community room, for use by partner organizations and tenants for classes, meetings, and workshops.
- The office at the top of the upper stairs will be a Welcome Center, administered by Alliance for Greater Equity. They will also occupy the small office across the hall, next to the elevator, for meeting with clients.
- To the south of the community room, the indoor Retail Incubator will be located. This space will have tables, booths, racks, and stands with different retailers at each. A single point-of-sale will be used, and staffed on a rotating basis by the sellers in the space. This area, along with the exterior shops, will be managed by the Main Street program of the Owatonna Area Chamber of Commerce & Tourism.
- The common areas, coworking space, Owatonna Makerspace, and Craft Apothecary will be overseen by the Owatonna Area Business Development Center.
- Security features, including fob access or the like, maybe added to interior doors as needed.
- A cleaning service has been retained to clean the bathrooms and entrances on a weekly basis.
- In order to grant bathroom accessibility to the shops outside, the interior Retail Incubator space will remain open the same hours as the exterior shops, as the men’s room for the upper floor is located inside it. The men’s room on the lower level, as well as the women’s rooms on both floors, are accessible via a hallway, and available anytime.
- The building will be open to the public Thursday 4 pm – 8 pm, Friday 10 am – 8 pm, Saturday 10 am – 4 pm, and Sunday 11 am – 4 pm. The building will be accessible outside these hours to partner organizations and members of the coworking space and Owatonna Makerspace/Craft Apothecary, and may be adjusted based on demand.
- The shops and interior retail incubator will be open Thursday 4 pm – 8 pm, Friday 10 am – 5 pm, Saturday 10 am – 4 pm, and Sunday 11 am – 3 pm.

- The Owatonna Makerspace and Craft Apothecary will be open to the public Thursday 4 pm – 8 pm, Friday 2 pm – 8 pm, Saturday 11 am – 4 pm, and Sunday 11 am – 4 pm.

Why do you feel this request should be granted?

The Rose Street Center is a unique facility, located in the heart of Downtown Owatonna. Engaging the building with such an intentional use that's focused on driving business growth and economic development in such an accessible location will not only benefit the downtown district, but Owatonna as a whole. Additionally, the Shops at Rose Street are built on a model that has been proven to attract tourism, which can lead to improve outcomes not only for visitors to Owatonna but to locals as well. Enforced hours on weekend will prove out and drive demand for other retailers to be open, and give tourists an additional reason to stay in town for longer.

For entrepreneurs, the pipeline of classes through the OABDC, to a coworking membership, to selling goods at the indoor retail incubator, to growing into an exterior shop, to a brick-and-mortar store downtown will only improve successes locally, again based on a proven track record at the model that the shops were built on.

Having a centrally located facility also improves accessibility for entrepreneurs, clients of the Welcome Center, and members of the coworking space, Craft Apothecary, and Makerspace. Attendance will increase compared to classes out in the industrial park, allowing for more folks to go through our programs and see the benefits of them.



Date: 2025-03-04

Project: Rose Street Center

Address: 515 W Bridge St

Conditional Use Permit: CUP-23

Applicant: Sean Williams

Staff Review Comments:

1. All construction activity shall be consistent with the most current Stormwater Management Code 52.00, design standards, and guidance documents, at the time of permitting.
2. Ensure that any relevant Public Works permits are obtained as necessary:
 - a. City Grading Permit coverage will be required if any disturbance occurs that is greater than 5,000 square feet.
 - b. A Right-of-Way Permit will be required If any construction occurs within the right-of-way.
 - c. A Driveway Permit will be required If any sidewalk, driveways or curb cuts are modified or added.
3. Please be advised that direct connection to the alley for the purpose of routing all retail vehicular traffic is not recommended as it has the potential to create traffic conflicts due to exceeding the design intent of an alley.

Should you have any questions, please call 507.444.4350.

Thank You

A handwritten signature in blue ink, appearing to read "S. Murphy".

Sean Murphy
Director of Public Works and City Engineer

COMPARISON REPORT OF BUILDING DONE IN CITY OF OWATONNA IN YEARS 2025 AND 2026												Ken Beck, Building Official			
	DWELLINGS		ACCESSORY		COMMERCIAL		ADD. & ALT.		DUPLEX/APTS		DEMO	TOTAL			
Month	NO.	VALUE	NO.	VALUE	NO.	VALUE	NO.	VALUE	NO.	VALUE	NO.	NO.	VALUE		
Jan '25	0	0	0	0	22	13,865,031	85	566,740	0	0	0	107	14,431,771		
Jan '26	0	0	2	1,000	20	4,787,137	107	\$ 761,152.83			5	134	\$ 5,549,289.83		
Feb '25	1	317,000	1	500	40	15,540,396.00	185	1,110,858.11				227	16,968,754.11		
Feb '26	1	461,000	2	1,000	36	5,661,962.00	169	1,173,226.15			5	213	7,297,188.15		
Mar '25	1	317,000	14	51,721	59	17,995,810	278	\$ 1,975,163.16			2	354	\$ 20,339,694.16		
Mar '26															
Apr '25	6	1,502,000	25	102,117	73	22,381,515	395	3,025,025.86	0	0	3	502	27,010,657.86		
Apr '26															
May '25	7	2,068,000	39	170,017	102	31,555,159.00	567	4,993,234.30			4	719	38,786,410.30		
May '26															
Jun '25	8	2,448,000	51	218,624.33	120	34,423,774.00	740	7,382,208.84			4	923	44,472,607.17		
Jun '26															
Jul '25	10	3,298,000	70	340,568.33	141	37,792,700.00	923	9,366,792.64			4	1148	50,798,060.97		
Jul '26													0.00		
Aug '25	10	3,298,000	86	404,032.00	166	41,045,386.00	1075	11,186,236.26			5	1,342	\$55,933,654.26		
Aug '26													-		
Sep '25	11	3,623,000	102	464,032.00	189	41,567,217.38	1290	13,253,047.25			7	1,599	58,907,296.63		
Sep '26													0.00		
Oct '25	12	4,173,000	118	550,508.77	219	42,658,452.42	1,473	15,124,203.49			9	1,831	62,506,164.68		
Oct '26															
Nov '25	14	4,613,000	124	561,008.77	230	43,761,000.42	1,615	16,723,718.50			10	1,993	65,658,727.69		
Nov '26															
Dec '25	15	4,925,500	125	564,008.77	244	53,804,896.42	1,758	17,666,330.14			10	2,152	76,960,735.33		
Dec '26													0.00		

**Starting April 2023, Commerical and Industrial are combined

Owatonna Building Inspection Department Comparison Report- Construction to Date 2025/2026

Construction Report for Permits Issued through February, 2026

TYPE OF WORK	2025 PERMITS ISSUED	PERMITS ISSUED FOR CONSTRUCTION COST	Units	2025 PERMITS ISSUED	PERMITS ISSUED FOR CONSTRUCTION COST	Units
NEW DWELLINGS	1	317,000		1	461,000	
ACCESSORY BUILDINGS (INCLUDES GARAGES, UTIL. BLDGS, SW. POOLS, ETC.)	1	500.00		2	1,000.00	
COMMERCIAL AND INDUSTRIAL PR	40	15,540,396.00		36	5,661,962.00	
RESIDENTIAL ADD. & ALT.	185	1,110,858.11		169	1,173,226.15	
DUPLEXES & APTS. (INCLUDES ATTACHED SF)	0	0	0	0	0	0
DEMOLITION PERMITS	0	0		5	0	
TOTAL PERMITS ISSUED	227	16,968,754	0	213	7,297,188	0