



PLANNING COMMISSION MEETING

Tuesday, June 11, 2024 at 5:30 PM

Council Chambers, City Hall at 540 West Hills Circle

**Roll Call: Meier, Springer-Gasner, Rooks, Eickhoff,
Wilson, Peake, Effertz**

1. Planning Commission Agenda

1.a. Planning Commission Agenda - June 11, 2024

2. Roll Call: Meier, Springer-Gasner, Rooks, Eickhoff, Wilson, Peake, Effertz

3. Approval of Minutes

3.a. Planning Commission Minutes - May 28, 2024

4. Public Hearings

4.a. CUP-15

4.b. VAR-18

4.c. CUP-16

4.d. VAR-19

5. Downtown Parking Committee Requests

6. 2050 Comprehensive Plan

7. Other Business

7.a. Cashman Addition No. 3 Final Plat

7.b. May Building Reports

8. Next Meeting - June 25, 2024

9. Adjournment

Owatonna Planning Commission Agenda

Tuesday, June 11, 2024

5:30 PM

****Charles S. Crandall Center at West Hills****

Roll Call: Meier, Springer-Gasner, Rooks, Eickhoff, Wilson, Peake, Effertz

1. Approve minutes of the May 28, 2024 meeting
2. Public Hearings
 - A. CUP-15 by Jason Hall, with the consent of the City of Owatonna, a request to construct a 155 foot tall cell tower on the subject property. The tower will allow for future co-locations in addition to the proposed tenant for the property located at 1215 Kilworth Drive NW.
 - B. Application VAR-18, a request by Eric Hoyer of Two Rivers Habitat for Humanity for a side yard setback variance of 10' where a 20' side yard setback is required from the east property line on a corner lot for the property to be addressed 824 Vine Street East.
 - C. CUP-16 by Kelly Snyder, Wold Architects, on behalf of ISD 761, a request for a 3200 vehicle storage building on the subject property located at 333 School Street East.
 - D. VAR-19 by Kelly Snyder, Wold Architects, on behalf of ISD 761, a request for an eight (8) foot tall fence on the property where code only permits a seven (7) foot tall fence on the property at 333 School Street East.
3. Downtown Parking Committee Requests
 - A. None
4. 2050 Comprehensive Plan
 - A. None
5. Other Business
 - A. Cashman Addition No. 3 Final Plat
 - B. Updates on Previous Items
 - C. May Building Reports
6. Next Meeting – June 25, 2024
7. Adjourn

OWATONNA PLANNING COMMISSION MINUTES FOR MAY 28, 2024

The Owatonna Planning Commission met in regular session at 5:30 p.m. in the Charles S. Crandall Center – Chambers at City Hall with Chairperson Kelly Rooks conducting the meeting. Present at roll call were Commissioners Rachel Springer-Gasner, Kelly Rooks, John Eickhoff, Nick Peake, David Effertz, and Mark Wilson. Commissioner Mark Meier was absent. Community Development Manager Greg Kruschke, Planning Specialist Ashley Zidon, and Administrative Technician Kristen Kopp were also present.

A motion was made by Eickhoff and seconded by Peake to approve the minutes of the regular meeting of May 14, 2024. All Commissioners voting Aye, the motion carried.

Application VAR-17, which is a request by Jason Karsten to exceed the number of allowed accessory buildings on a residential lot, was presented by Planning Specialist Ashley Zidon. (Refer to report on file.) The applicant is requesting a third accessory building for the property at 1420 Canterbury Place SE.

Conditional Use No. CUP-14, which is a request by Jason Karsten to exceed 1,000 square feet in gross floor area for accessory buildings, was presented by Planning Specialist Ashley Zidon. (Refer to report on file.) The applicant is requesting 1,188 square feet for total gross floor area of accessory buildings. Ordinance 157.040 A(2)(c) allows lots more than 30,000 square feet in area up to 1,500 square feet in gross floor area of all accessory buildings.

Public hearing for both VAR-17 and CUP-14 opened at 5:38 pm. Cheryl Pfeifer, 1085 Greenleaf Road SE, said she is located south and west of the subject property. Her first question was the dimension of the building. In the staff report, it is 24 x 36. She is curious about the location of the building. There is quite a slope between the Karstens' property and her property. When it rains an inch, there is water between her house and the neighboring house at 1125 Greenleaf Road SE. She asked if a structure of this proposed size has potential to block drainage. Public hearing closed at 5:40 pm.

Kruschke said that when subdivisions are designed, generally speaking, the outlines are designed to carry water. No structure can impede any of that drainage and the applicant can direct drainage around that structure. He needs that structure to drain, too. There is direction and grading when that project comes forward that will redirect the water. The applicant will need a grading permit. Eickhoff asked what way the water flows. Kruschke said kind of east to west, following the 10' arrow on the site plan. Pfeifer said because they're at an angle. She handed out photos of her backyard to the Commissioners to show what the slope may look like. She said where the pool house is, they used to have erosion around that when they had high water. They put in groundcover and wildflowers to keep the erosion to a minimum. Since the fence has been there, they haven't had any water wash through. When they had a heavy rain a couple weeks ago, they could see where the water had moved toward Greenleaf Road. She said she has concerns that a structure of this size could interrupt the drainage; that is her main concern. Kruschke said that the Commissioners could add a condition if they feel it is appropriate about the drainage. Rooks asked if there were any covenants on this property. Kruschke said that covenants are between property owners and the City doesn't get involved with neighborhood covenants. The City will look at drainage, though. Wilson asked about the approximate size of the accessory structure being removed. Karsten said it is about 10 x 12. The other thing is, where Pfeifer is talking about the water running, there are railroad ties that will go into that area to divert the water toward the pool area. A motion was made by Eickhoff and seconded by Peake to recommend City Council approval of the variance and conditional use permit based on findings of fact and the following conditions:

1. That the existing accessory structure in the SW corner of the lot be removed.

2. Must comply with height requirements of the ordinance.
3. Total gross floor area of all accessory buildings may not exceed 1,188 sq feet without amending the conditional use permit.
4. The exterior materials shall have conventional house siding or siding that simulates conventional house siding or an exterior that is the same as the exterior of the principal structure.
5. Roof shall be covered with shingles, tile, shakes, or metal seam and batten roofing manufactured with a factory-applied finish, except a galvanized finish.
6. All grading and building permits shall be issued for the garage prior to commencing construction.
7. Accessory structure to be located as noted on the site plan in the application submittals; 10 feet from the southwest property line and 10 feet from the lot line separating the property from 1427 Canterbury Place SE.
8. All accessory structures shall not be used for commercial purposes.

All Commissioners voting Aye, the motion carried.

Conditional Use No. CUP-15; which is a request by Jason Hall, with the consent of the City of Owatonna, to construct a 155 foot tall cell tower on the subject property at 1215 Kilworth Drive NW; was tabled. Public hearing opened at 5:46 pm. No comments were made regarding this request. Public hearing closed at 5:47 pm. A motion was made by Wilson and seconded by Effertz to table the request to June 11th. All Commissioners voting Aye, the motion carried.

Kruschke said that they are taking public comments until the end of June for the 2050 Comprehensive Plan. To date, there are around two dozen comments that have come in online, in addition to what they had at the open house. For anybody who is interested in providing input on the draft plan, they can go to Owatonna.gov/Imagine2050.

Kruschke gave an update on previous items. City Council approved the Cashman Addition No. 3 and the rezoning.

Kruschke said there will be a request from the School District to construct a vehicle storage building at the old high school site near the old Ag Building as well as a variance request by Habitat for Humanity for their lot on the corner of Vine Street and Birch Avenue.

A motion was made by Springer-Gasner to adjourn and seconded by Wilson at 5:48 pm. All Commissioners voting Aye, the motion carried.

Respectfully Submitted,

Greg Kruschke
Community Development Manager

June 6, 2024

To: Planning Commission

From: Greg Kruschke, Community Development Manager

RE: CUP-15 by Jason Hall, with the consent of the City of Owatonna, a request to construct a 155 foot tall cell tower on the subject property. The tower will allow for future co-locations in addition to the proposed tenant.

Application Review:

Applicant/Owner	Jason Hall, Holder of a Proposed Lease with the City of Owatonna
Location of Property	1215 Kilworth Drive NW
Zoning Map	B-2, Community Business District
Zoning Ordinance	Ordinance 157.042 A(11)states that towers in excess of 100 feet require a CUP.
Report Attachment	Location map Site plan Building plans Project Narrative

Proposed Development

- CUP-15 by Jason Hall, with the consent of the City of Owatonna, a request to construct a 155 foot tall cell tower on the subject property. The tower will allow for future co-locations in addition to the proposed tenant.
- The applicant is proposing to enter into a lease agreement with the City of Owatonna for this site location.
- The applicant is proposing to construct a 150' tower with a 5' lighting rod on top for a total of 155' in height.
- The tower area will have a 50' x 40' fenced in compound that will include equipment cabinet's, generators, and an accessory building.
- The fencing shown on the plan is an 8' tall fence with 3 strands of barbed wire on top of that. City Code does not permit this fencing:
 - o 8' tall fencing is not permitted. The fence needs to be 7' tall.
 - o Barbed wire is only permitted for livestock or within the industrial zoning districts. This property is zoned Commercial.
 - o A condition on the CUP will be fencing installed be fully code compliant.

- If the applicant wishes to apply for a variance for this fence they will need to prove their case, including their practical difficulty and go through the public hearing process.
- Access to the site is proposed through a 12' wide gravel access drive on the south side of the property. This access area has City utilities in it. Staff would allow access over this area however would not be responsible for repairing the areas if we need to get into maintain it. It would be better to relocate the access drive further north.
- It is assumed that utilities will need to run in from the Kilworth Drive right of way. These utilities will need to be located outside of the City's utility easement further to the north. A new area will need to be dedicated to accommodate these utilities.

FINDINGS OF FACT

1. The property is zoned B-2, Community Business District.
2. Notice was provided to all property owners within 350 feet of the subject property and published in the Owatonna Peoples Press.
3. That a public hearing was held at the Planning Commission on June 11, 2024
4. The request is not detrimental to or will endanger the public health, safety, morals, comfort, or general welfare of the public.
5. The request is compatible with the surrounding area.
6. The request will not generate additional traffic as the site is not generally occupied.
7. The request will not require public services out of the ordinary.

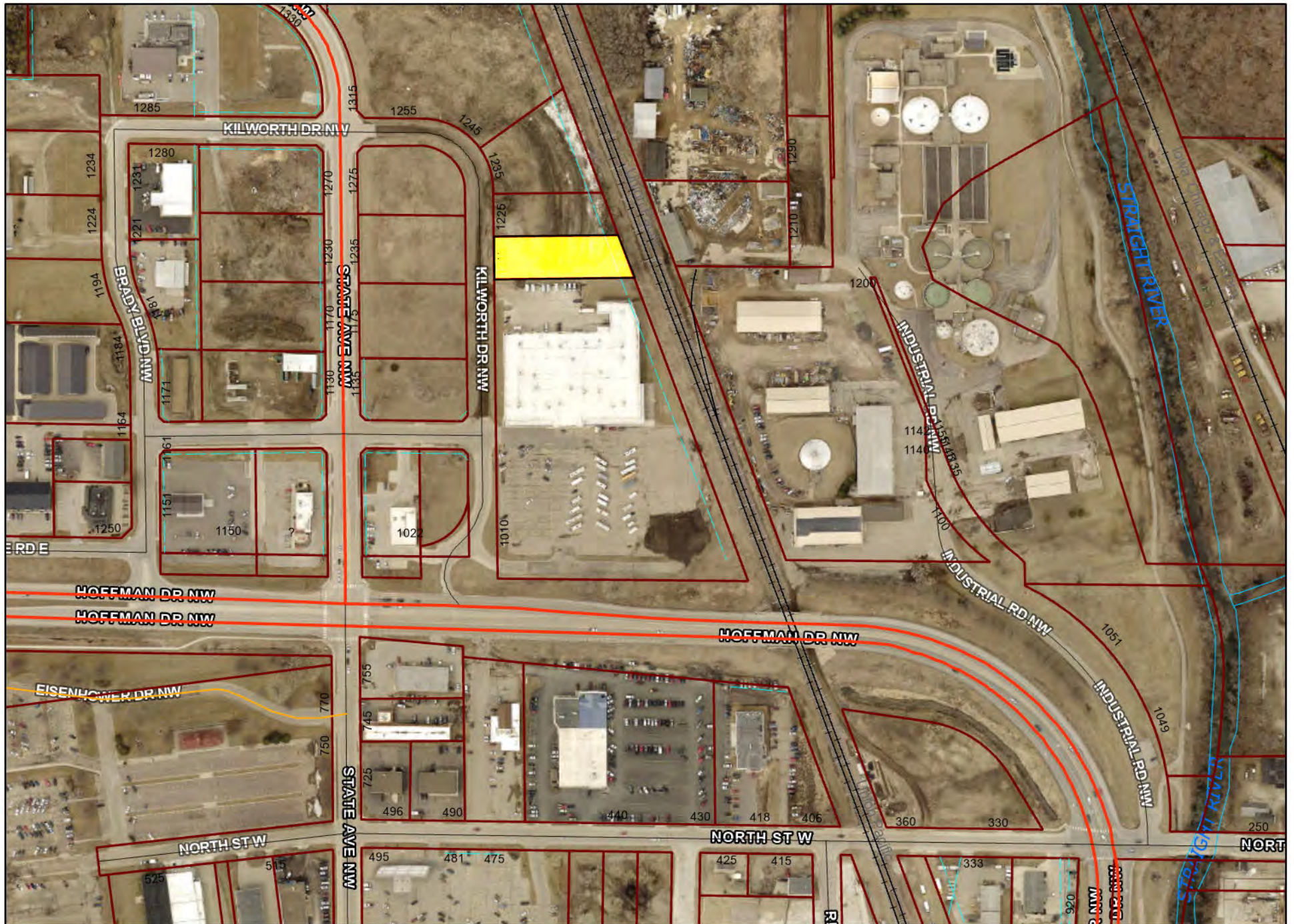
Public Comment

At the time of this staff report, no comments have been submitted via written comments, e-mail, or phone.

Staff Recommendation

Staff recommends approval of CUP-15, a request to construct a 155 foot tall cell tower on the subject property located at 1215 Kilworth Drive NW with the following conditions:

- 1) All fencing shall be constructed in full compliance with the ordinance.
- 2) All lease terms shall be met at all times.
- 3) All FAA Rules and permits shall be met.
- 4) Access drive and any private utilities be located to the north of the current utility easement.
- 5) A grading permit will be required for the lease area. All applicable stormwater requirements will be required to be met.



CUP-15 AT&T Cell Tower CUP

1:3,592

Date: 5/14/2024
Page 7 of 54

LEGEND

That part of Lot 8, Block 1, GAELIC ADDITION, according to the recorded plat thereof, Steele County, Minnesota, described as follows:

Commencing at the southeast corner of said Lot 8; thence South 89 degrees 19 minutes 38 seconds West along the South line of said Lot 8, a distance of 76.25 feet; thence North 0 degrees 40 minutes 22 seconds West, a distance of 12.00 feet to the Point of Beginning of the lease area to be described; thence continue North 0 degrees 40 minutes 22 seconds West, a distance of 50.00 feet; thence North 89 degrees 19 minutes 38 seconds East, a distance of 21.89 feet to the westerly line of the easterly 30.00 feet of said Lot 8; thence South 20 degrees 34 minutes 58 seconds East along said westerly line a distance of 53.18 feet to a line bearing North 89 degrees 19 minutes 38 seconds East from the Point of Beginning; thence South 89 degrees 19 minutes 38 seconds West, a distance of 40.00 feet to the Point of Beginning.

SIGN SINGLE POST
TREE DECIDUOUS
TELE PEDESTAL
ELEC POLE
SANITARY MANHOLE
STORM CATCH BASIN
EDGE OF WOODS
UNDERGROUND TELE
UNDERGROUND FIBER
OVERHEAD ELECTRIC
CENTERLINE RAILROAD

BOUNDARY LINE
SECTION LINE
QUARTER LINE
RIGHT OF WAY LINE
LOT LINE
PROPOSED LEASE AREA
PROPOSED EASEMENT LINE
EXISTING EASEMENT LINE

CONCRETE SURFACE

GRAVEL SURFACE

PROPOSED ACCESS AND UTILITY EASEMENT DESCRIPTION:

An 12.00 foot wide easement for ingress, egress and utility purposes over, under and across Lot 8, Block 1, GAELIC ADDITION, according to the recorded plat thereof, Steele County, Minnesota, described as follows:

Commencing at the southeast corner of said Lot 8; thence South 89 degrees 19 minutes 38 seconds West along the South line of said Lot 8, a distance of 76.25 feet; thence North 0 degrees 40 minutes 22 seconds West, a distance of 12.00 feet to the Point of Beginning of the easement to be described; thence North 89 degrees 19 minutes 38 seconds East, a distance of 40.00 feet to the westerly line of the easterly 30.00 foot line of said Lot 8; thence South 20 degrees 58 minutes 58 seconds East along said westerly line of said Lot 8, a distance of 116 feet to said South line of the easterly 30.00 foot line of said Lot 8; thence South 89 degrees 19 minutes 38 seconds West along said South line, a distance of 295.51 feet to the West line of said Lot 8; thence North 0 degrees 40 minutes 22 seconds West along said West line, a distance of 12.00 feet to a line bearing South 89 degrees 19 minutes 38 seconds West from the Point of Beginning; thence North 89 degrees 19 minutes 38 seconds East, a distance of 251.16 feet to the Point of Beginning.

PID=17-343-0108
CITY OF OWATONNA
8
BLOCK 1

SURVEYOR NOTES:

1.) Utilities are per observed evidence and markings from GOPHER STATE ONE CALL Locate Request Ticket No. 222491592, dated September 6, 2022.

SITE NAME: MINERAL SPRINGS RELO

FA #: 15728271

Kilworth Drive
Owatonna, MN 55060

No.	Date	REVISIONS						By	CHK	APP'D
FIELD WORK:		9/12/22	CHECKED BY:		BTB	DRAWN BY:		JMB		

I HEREBY CERTIFY THAT THIS DOCUMENT WAS
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY LICENSED LAND SURVEYOR
UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: Bryan T. Balcome
BRYAN T. BALCOME, L.S.
DATE: 10/27/22 LICENSE # 42594

© 2022 WIDSETH SMITH NOLTING & ASSOCIATES, INC.

WIDSETH
ARCHITECTS ■ ENGINEERS ■ SCIENTISTS ■ SURVEYORS

FULL SCALE ON 22"x34"
HALF SCALE ON 11"x17"

2022-11057

FULL SCALE ON 22"x34"
HALF SCALE ON 11"x17"

2022-11057



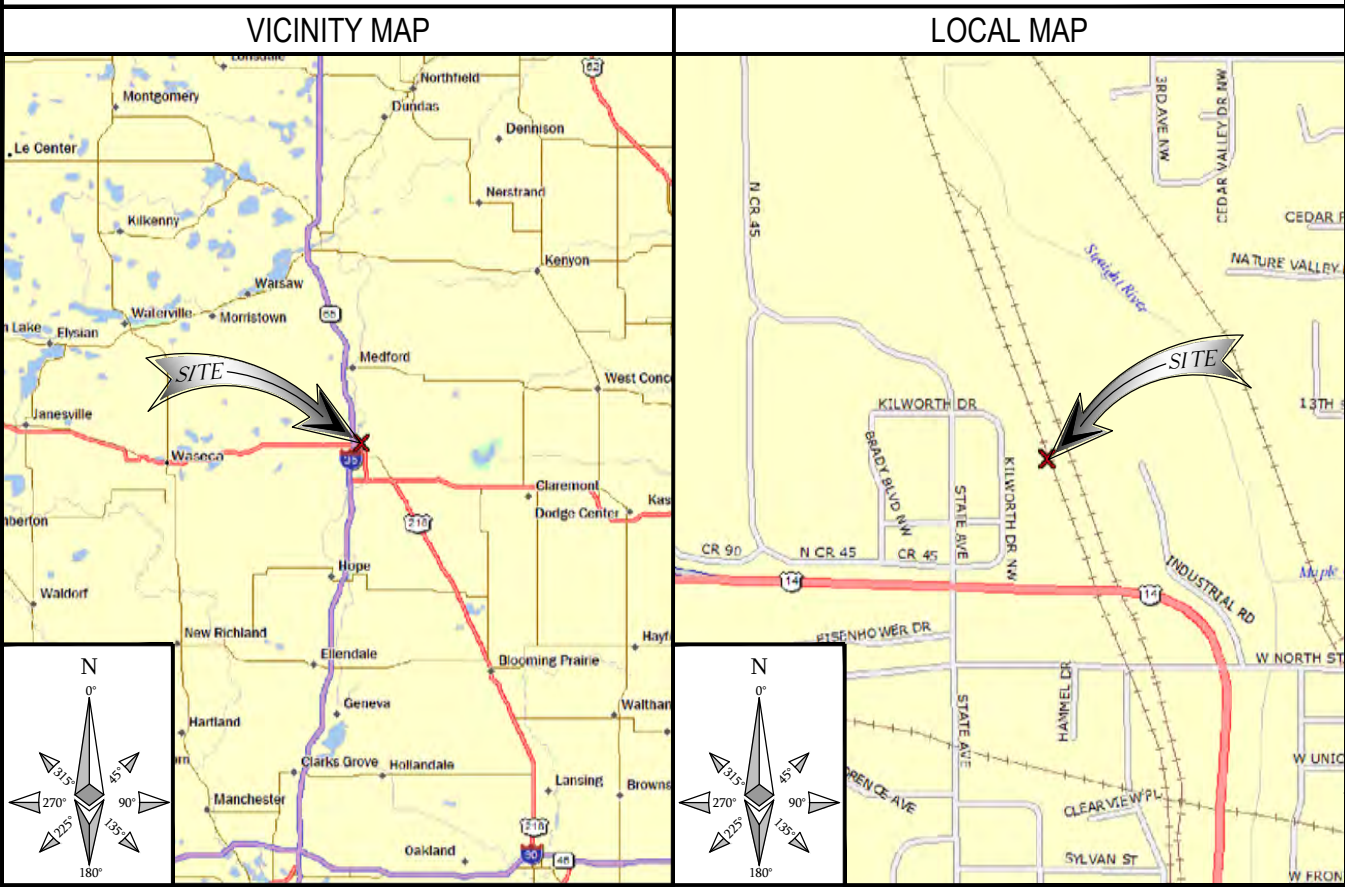
PROJECT INFORMATION

SITE ADDRESS:	1215 KILWORTH DR NW
COUNTY	STEELE
SITE NAME:	MINERAL SPRINGS RELO
FA NUMBER:	15728271
PACE NUMBER:	MRUMW051718
PTN NUMBER:	3511A13PMZ
USID NUMBER:	321286
LATITUDE (NAD 83):	44° 05' 49.7" N 44.097139°
LONGITUDE (NAD 83):	93° 14' 02.8" W -93.234111°
GROUND ELEVATION:	1132.9' A.M.S.L.
ZONING DISTRICT:	B-2
PARCEL #:	17-343-0108
LANDLORD CONTACT:	TROY KLECKER (507) 774-7316 TROY.KLECKER@CI.OWATONNA.MN.US
GROUND OWNER:	CITY OF OWATONNA 40 WEST HILLS CIRCLE OWATONNA, MN 55660
OCCUPANCY GROUP:	U
CONSTRUCTION TYPE:	I-B
AT&T PROJECT MANAGER:	VERNA SIN (952) 229-9659 VG4733@ATT.COM
B&V SITE ACQUISITION MANAGER:	JACQUELYN LUKENS (913) 458-6785 LUKENSJ@BV.COM
MASREC CONSTRUCTION MANAGER:	DYLAN DAVIS (318) 505-3307 DYLAND.DAVIS@NEXIUS.COM
B&V LEAD ENGINEER:	TYLER DAVISON (913) 458-9654 DAVISONTM@BV.COM

AT&T
MOBILITY
PROJECT: NSB
FA#: 15728271
PACE#: MRUMW051718
PTN#: 3511A13PMZ

MINERAL SPRINGS RELO
OWATONNA, MN 55060

AREA MAP



DRIVING DIRECTIONS

DIRECTIONS FROM AT&T OFFICE:
GO STRAIGHT (NORTH), TURN RIGHT (EAST) ONTO SOUTHTOWN DR (W 79TH ST), TURN LEFT (NORTH NORTHEAST) ONTO CR 32, TURN RIGHT (EAST) ONTO I-494 (SR 5) RAMP, TAKE EXIT 5B, KEEP RIGHT (SOUTH) ONTO I-35W S RAMP, GO STRAIGHT (SOUTH) ONTO I-35 S, TAKE EXIT 42B, KEEP RIGHT (SOUTH) ONTO US 14 RAMP, TURN LEFT (EAST) ONTO US 14, TURN LEFT (NORTH) ONTO STATE AVE, TURN RIGHT (EAST) ONTO LOCAL ROAD, TURN LEFT (NORTH) ON TO KILWORTH DR NW MINERAL SPRINGS RELO, MN 55060

ENGINEERING

2018 INTERNATIONAL BUILDING CODE
2020 NATIONAL ELECTRIC CODE
2020 MINNESOTA BUILDING CODE
TIA/EIA-222-H OR LATEST EDITION

REFERENCE MATERIALS

THESE LTE DRAWINGS ARE BASED ON AT&T SCOPING DOCUMENT DATED 06/24/22.
CONTRACTOR SHALL USE THE LATEST VERSION OF THE RFDS WITH THE CONSTRUCTION DRAWINGS PER THE SCOPE OF WORK.

DRAWING INDEX

SHEET NO:	SHEET TITLE
COVER	TITLE SHEET
C-1	OVERALL SITE PLAN
C-1.1	COMPOUND GRADING PLAN
C-2	COMPOUND PLAN
C-3	WIC PLATFORM WITH GENERATOR
C-4	SITE DETAILS
C-5	SITE DETAILS
C-6	CHAINLINK FENCE DETAILS
C-7	SIGNAGE DETAILS
C-8	SPECIAL INSPECTIONS
C-9	CONCRETE WORK NOTES
C-10	SITE WORK AND DRAINAGE NOTES
T-1	TOWER ELEVATION
T-2	ANTENNA CONFIGURATION
T-3	ANTENNA AND RRH REQUIREMENTS
T-4	TOWER EQUIPMENT DETAILS
T-5	CABLE COLOR CODING
T-6	CABLE COLOR CODING
T-7	TOWER SECTION NOTES
E-1	OVERALL ELECTRICAL PLAN
E-2	ELECTRICAL DETAILS
E-3	ONE-LINE GROUNDING DIAGRAM
E-4	COMPOUND GROUNDING DIAGRAM
E-5	GROUNDING DETAILS
E-6	GROUNDING DETAILS
E-7	GROUNDING DETAILS
E-8	ELECTRICAL SECTION NOTES
N-1	LEGEND AND ABBREVIATIONS
N-2	GENERAL NOTES
-	RF PLUMBING DIAGRAMS ATTACHED

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN MINNESOTA, CALL GOPHER STATE ONE CALL
TOLL FREE: 1-800-252-1166 OR
FAX A LOCATE: 1-800-236-4967
MIN STATUTE REQUIRES MIN OF 48 HOURS NOTICE BEFORE YOU EXCAVATE



-THESE PLANS CONFORM TO ALL OF THE REQUIREMENTS CALLED OUT IN THE JURISDICTION PLANNING AND ZONING FOR ANTENNAS AND SUPPORT STRUCTURES WHERE SITE IS LOCATED.
-SUBCONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING CONDITIONS ON SITE. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK OR BE RESPONSIBLE FOR THE SAME

AT&T
MOBILITY

7900 XERXES AVE S
3RD FLOOR
BLOOMINGTON MN 55431


BLACK & VEATCH

BLACK & VEATCH CORPORATION
7760 FRANCE AVENUE SOUTH
SUITE 1200
BLOOMINGTON, MN 55435

PROJECT NO:	129341.1285
DRAWN BY:	MBS
CHECKED BY:	GV

0	03/27/23	ISSUED FOR CONSTRUCTION
REV	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.

PRINT NAME: NATHAN C. PETRY, P.E.

SIGNATURE: 

DATE: 03/28/2023 LICENSE #51299
EXP. 6/2024

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

MINERAL SPRINGS RELO

1215 KILWORTH DR NW

OWATONNA, MN 55060
NSB

SHEET TITLE

TITLE SHEET

SHEET NUMBER

COVER

THE PURPOSE OF THIS DRAWING IS
TO SHOW HOW THE DEVELOPED SITE
RELATES TO THE PARENT PARCEL
AND ADJACENT PROPERTIES.

7900 XERXES AVE S
3RD FLOOR
BLOOMINGTON MN 55431



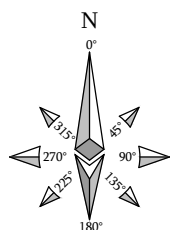
BLACK & VEATCH CORPORATION
7760 FRANCE AVENUE SOUTH
SUITE 1200
BLOOMINGTON, MN 55435

CHECKED BY: GV

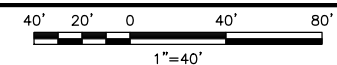
0	03/27/23	ISSUED FOR CONSTRUCTION
REV	DATE	DESCRIPTION

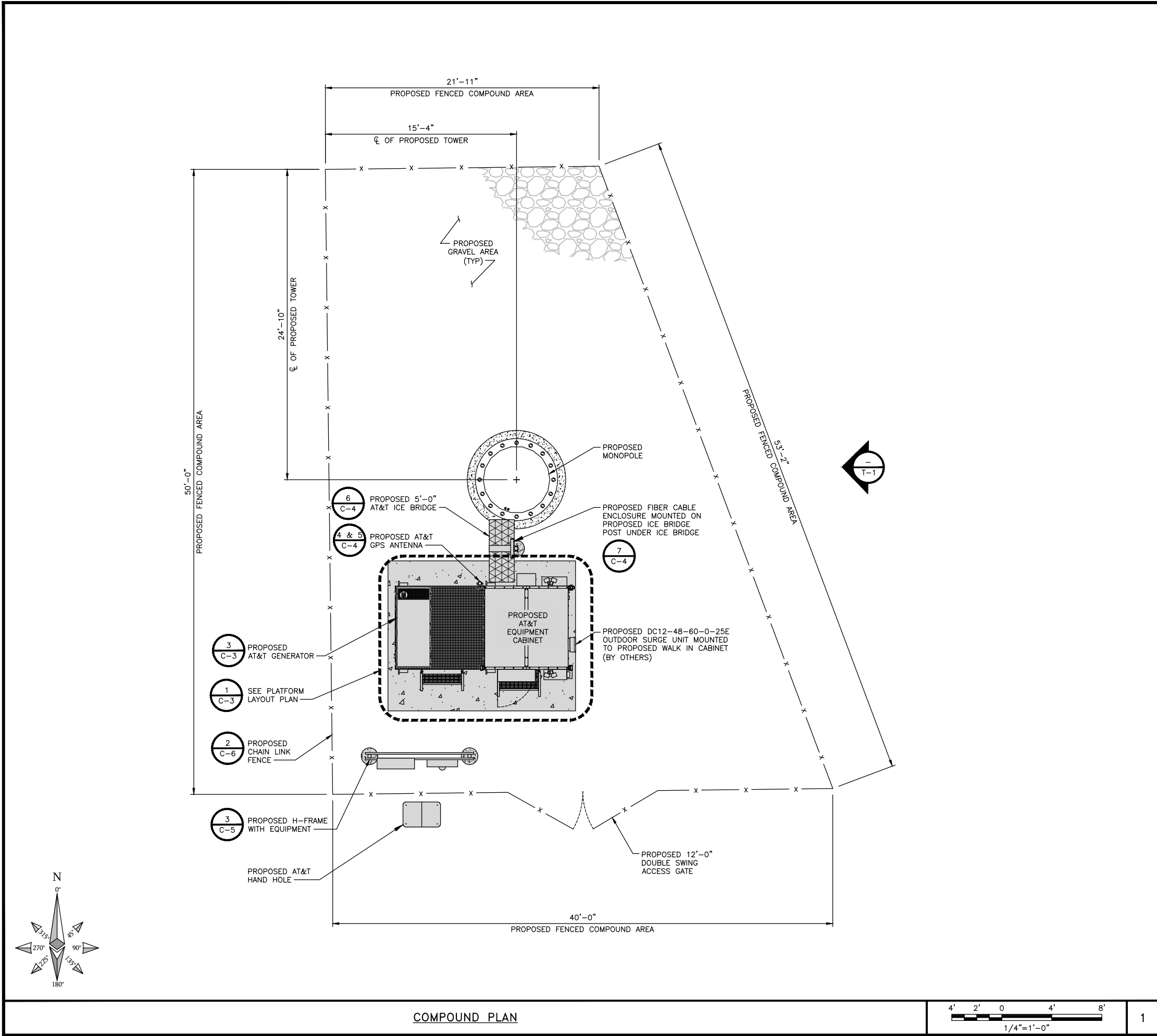
IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

C-1



OVERALL SITE PLAN





THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE.

THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

PROPOSED-TOWER:
INSTALL (3) SABRE C10857804 SECTOR FRAMES WITH MONOPOLE ATTACHMENT (OR ENGINEER APPROVED EQUAL)
INSTALL (2) CMA-UBTULBULBHH-6517-17-21-21 ANTENNAS
INSTALL (4) COMMSCOPE NNH4-65C-R6 ANTENNAS
INSTALL (9) AIRSCALE RRH UNITS
INSTALL (1) RAYCAP DC9-48-60-24-8C-EV SURGE UNIT
INSTALL (3) #6 AWG DC POWER TRUNKS
INSTALL (1) FIBER TRUNK

PROPOSED-PLATFORM:
INSTALL (1) VERTIV XTE 801 CABINET, W/EQUIPMENT (NEQ200060)
INSTALL (1) EQUIPMENT PLATFORM W/GRAVITY MOUNT KIT
INSTALL (1) GPS KIT
INSTALL (1) KOHLER 20KW GENERATOR

PROPOSED-SITE:
INSTALL (2) ROSENBERGER FB-15-ABOX FIBER ENCLOSURES
INSTALL (2) RAYCAP DC12-48-60-0-25E OUTDOOR SURGE (BY OTHERS)
INSTALL APPROXIMATELY 5'-0" ± LF OF ICE BRIDGE

AT&T TO VERIFY
REQUIRED SHELTER
EQUIPMENT.

PROJECT DESCRIPTION

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED LTE GPS ANTENNA AND TRANSMITTING ANTENNAS.
3. PROPERTY LINES ARE APPROXIMATIONS ONLY.
4. ANTENNAS & MOUNTS OMITTED FOR CLARITY.
5. FOR FIBER TRUNK REF AT&T LTE GUIDE LINES REV. 1.9 PAGE 13 TABLE 2.1.2.
6. FOR DC POWER CABLE TRUNK REF AT&T LTE GUIDE LINES REV 1.9 PAGE 14 TABLE 2.1.3

NOTES

- WOOD FENCE
- CHAIN LINK FENCE
- PROPOSED ICE BRIDGE
- EXISTING ICE BRIDGE

LEGEND

**AT&T
MOBILITY**

7900 XERXES AVE S
3RD FLOOR
BLOOMINGTON MN 55431

BLACK & VEATCH

BLACK & VEATCH CORPORATION
7760 FRANCE AVENUE SOUTH
SUITE 1200
BLOOMINGTON, MN 55435

PROJECT NO:	129341.1285
DRAWN BY:	MBS
CHECKED BY:	GV

0	03/27/23	ISSUED FOR CONSTRUCTION
REV	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.

PRINT NAME: NATHAN C. PETRY, P.E.

SIGNATURE:

DATE: 03/28/2023 LICENSE #51299 EXP. 6/2024

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

MINERAL SPRINGS RELO
MNL03647
1201 INDUSTRIAL ROAD
OWATONNA, MN 55060
NSB

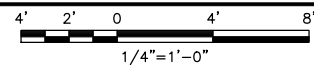
SHEET TITLE

COMPOUND PLAN

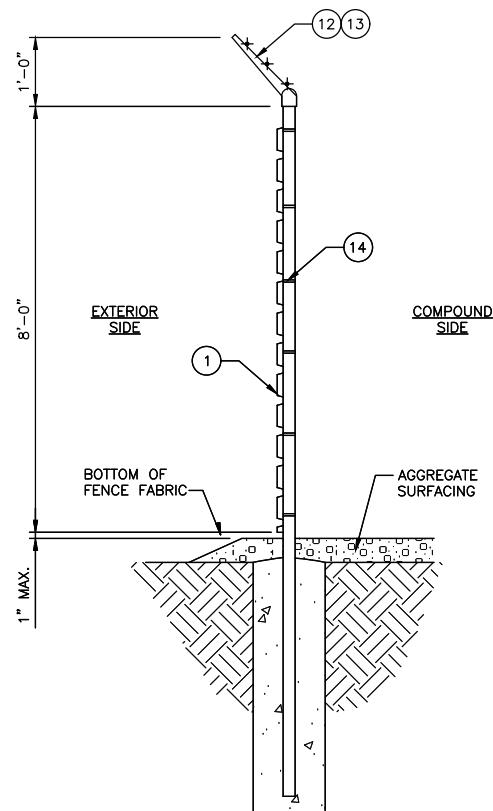
SHEET NUMBER

C-2

COMPOUND PLAN



1



- (1) CHAIN LINK RESIDENTAL FABRIC: 11-1/2 GAUGE, 2-1/4" MESH; GALVANIZED ASTM-A392, CLASS 2; TWISTED SELVAGE ON TOP, KNUCKLED ON BOTTOM.
- (2) LINE POSTS: 2-1/2" O.D. PIPE, 16 GAUGE (GALVANIZED) PER ASTM-F1083.
- (3) CORNER, END AND BRACE POSTS: 2-7/8" O.D. PIPE, SCHEDULE 40 (GALVANIZED).
- (4) TOP RAIL: 1-5/8" O.D. 17 GAUGE PIPE (GALVANIZED) PER ASTM-F1083.
- (5) BRACE RAIL: 1-5/8" O.D. 17 GAUGE PIPE (GALVANIZED).
- (6) DIAGONAL TRUSS ROD: 3/8" GALVANIZED ROD WITH TURNBUCKLE.
- (7) TENSION BAR: 3/16" X 3/4" GALVANIZED FLAT BAR.
- (8) BOTTOM TENSION WIRE: GALVANIZED OR ALUMINUM COATED COIL SPRING WIRE, 7 GAUGE.
- (9) GATE POSTS: 2-7/8" O.D. SCHEDULE 40 PIPE (GALVANIZED).
- (10) COMBINATION PADLOCK ACCORDING TO AT&T REQUIREMENTS.
- (11) GATE FRAMES: 1-7/8" O.D. SCHEDULE 40 PIPE (GALVANIZED).
- (12) BARBED WIRE SUPPORT ARM: SINGLE ARM TYPE (GALVANIZED). ARM SHALL BE INCLINED OUTWARD AT AN ANGLE OF 45 DEGREES.
- (13) BARBED WIRE: GALVANIZED, ASTM A121 CLASS 3; THREE 14 GAUGE MINIMUM STEEL WIRES WITH 4 POINT ROUND 14 GAUGE BARBS SPACED 4" APART.
- (14) FABRIC TIES: ALUMINUM BANDS OR WIRES. FABRIC SHALL BE ATTACHED TO THE TOP RAIL AND BOTTOM TENSION WIRE AT 24" CENTERS AND TO THE POSTS AT 15" CENTERS, ALL ON THE COMPOUND SIDE OF THE FENCE.

- 15 MISCELLANEOUS:
- A. RAIL COUPLINGS: SLEEVE TYPE, 6" LONG EXPANSION SPRING EVERY FIFTH COUPLING.
 - B. POST TOPS: PRESSED STEEL, MALLEABLE IRON WITH PRESSED STEEL EXTENSION ARM, OR ONE-PIECE ALUMINUM CASTING; WITH HOLE FOR TOP, ALL DESIGNED TO FIT OVER THE OUTSIDE OF THE POSTS AND TO PREVENT ENTRY OF MOISTURE INTO TUBULAR POSTS.
 - C. LATCHES SHALL BE FORKED TYPE AND SHALL BE ARRANGED FOR PADLOCKING WITH THE PADLOCK ACCESSIBLE FROM BOTH SIDES OF THE GATE.
 - D. KEEPERS SHALL CONSIST OF MECHANICAL DEVICES FOR SECURING AND SUPPORTING THE FREE END OF THE GATES WHEN IN THE FULL OPEN POSITION. KEEPERS SHALL BE MOUNTED ON 2-7/8" O.D. PIPE POSTS FILLED WITH CONCRETE AND SET IN CONCRETE FOUNDATIONS.
 - E. INSTALL FENCING PER ASTM-F567.
 - F. INSTALL SWING GATES PER ASTM-F900.
 - G. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLETED IF REQUIRED.
 - H. USE GALVANIZED HIG-RING WIRE TO MOUNT ALL SIGNS.
 - I. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE.
 - J. ALL POSTS SHALL HAVE "MUSHROOM" SLEEVE EMBEDDED IN CONCRETE.

**AT&T
MOBILITY**

7900 XERXES AVE S
3RD FLOOR
BLOOMINGTON MN 55431



BLACK & VEATCH

BLACK & VEATCH CORPORATION
7760 FRANCE AVENUE SOUTH
SUITE 1200
BLOOMINGTON, MN 55435

PROJECT NO: 129341.1285

DRAWN BY: MBS

CHECKED BY:	GV
-------------	----

0	03/27/23	ISSUED FOR CONSTRUCTION
REV	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.

PRINT NAME: NATHAN C. PETRY, P.E.

SIGNATURE: 

DATE: 03/28/2023 LICENSE #51299
EXP. 6/2024

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

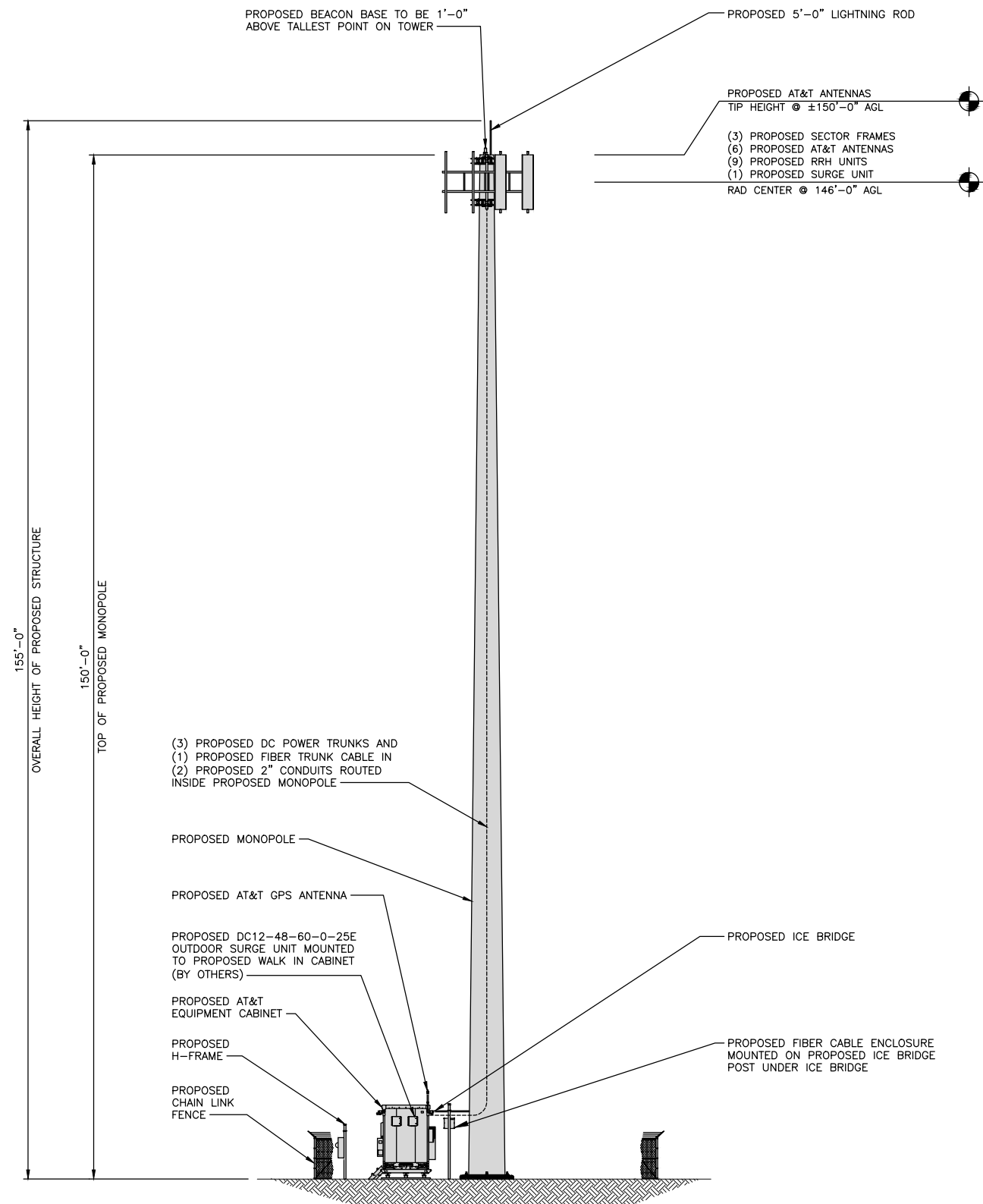
MINERAL SPRINGS RELO
MNL03647
1201 INDUSTRIAL ROAD
OWATONNA, MN 55060
NSB

SHEET TITLE

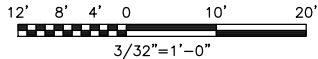
CHAINLINK FENCE DETAILS

SHEET NUMBER

C-6



PROPOSED TOWER EAST ELEVATION



1

STRUCTURAL NOTE

THIS IS NOT AN ALL-INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE.

THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

PROPOSED-TOWER:
INSTALL (3) SABRE C10857804 SECTOR FRAMES WITH MONOPOLE ATTACHMENT (OR ENGINEER APPROVED EQUAL)
INSTALL (2) CMA-UBTULBULBHH-6517-17-21-21 ANTENNAS
INSTALL (4) COMMScope NNH4-65C-R6 ANTENNAS
INSTALL (9) AIRSCALE RRH UNITS
INSTALL (1) RAYCAP DC9-48-60-24-8C-EV SURGE UNIT
INSTALL (3) #6 AWG DC POWER TRUNKS
INSTALL (1) FIBER TRUNK

PROPOSED-PLATFORM:
INSTALL (1) VERTIV XTE 801 CABINET, W/EQUIPMENT (NEQ200060)
INSTALL (1) EQUIPMENT PLATFORM W/GRAVITY MOUNT KIT
INSTALL (1) GPS KIT
INSTALL (1) KOHLER 20KW GENERATOR

PROPOSED-SITE:
INSTALL (2) ROSENBERGER FB-15-ABOX FIBER ENCLOSURES
INSTALL (2) RAYCAP DC12-48-60-0-25E OUTDOOR SURGE (BY OTHERS)
INSTALL APPROXIMATELY 5'-0" ± LF OF ICE BRIDGE

AT&T TO VERIFY
REQUIRED PLATFORM
EQUIPMENT.

PROJECT DESCRIPTION

- FENCE NOT ENTIRELY SHOWN FOR CLARITY.
- WHEN STACKING CABLES 3 OR MORE DEEP, USE STACKABLE SNAP-INS, TALLEY PART NUMBER SSH-158-3 (OR ENGINEER APPROVED EQUAL)

NOTES

THE PASSING ANTENNA MOUNT ANALYSIS EVALUATION LETTER FOR THE EXISTING MOUNTS WAS COMPLETED BY BLACK & VEATCH ON 03/23/2023. THE MOUNT HAS SUFFICIENT CAPACITY FOR THE EXISTING AND PROPOSED LOADINGS OBSERVED ON THESE CONSTRUCTION DRAWINGS.

MOUNT ANALYSIS NOTE

THE PROPOSED TOWER IS BEING DESIGNED BY OTHERS TO CARRY THE PROPOSED AND FUTURE ANTENNAS, CABLES, AND EQUIPMENT. THESE DRAWINGS HAVE BEEN CREATED BASED ON THE ASSUMPTION THAT THE TOWER HAS SUFFICIENT CAPACITY TO SUPPORT THE PROPOSED AND FUTURE LOADS.

IF REQUIRED, THE PROPOSED TOWER SHALL INCLUDE FAA LIGHTING PER THE REQUIREMENTS INDICATED BY AT&T AND THE FAA. THE TOP LIGHT SHALL BE INSTALLED SUCH THAT THE BASE OF THE LIGHT IS A MINIMUM OF 1'-0" ABOVE THE TOP OF THE HIGHEST ANTENNA AND/OR TOWER STEEL. LIGHTNING ROD TO BE INSTALLED BY OTHERS.

AT&T
MOBILITY

7900 XERXES AVE S
3RD FLOOR
BLOOMINGTON MN 55431



BLACK & VEATCH

BLACK & VEATCH CORPORATION
7760 FRANCE AVENUE SOUTH
SUITE 1200
BLOOMINGTON, MN 55435

PROJECT NO:	129341.1285
DRAWN BY:	MBS
CHECKED BY:	GV

0	03/27/23	ISSUED FOR CONSTRUCTION
REV	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.

PRINT NAME: NATHAN C. PETRY, P.E.

SIGNATURE:
DATE: 03/28/2023 LICENSE #51299
EXP. 6/2024

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

MINERAL SPRINGS RELO
MNL03647
1201 INDUSTRIAL ROAD
OWATONNA, MN 55060
NSB

SHEET TITLE

TOWER ELEVATION

SHEET NUMBER

T-1

Project Narrative

AT&T and City of Owatonna will be entering into a land lease agreement on the subject property. AT&T will be placing the 150' Tower near the SE corner of the property, that way the property can still be developed. The existing RR Tracks are directly to the East. The access road to Tower will be along the South property line.

The proposed Tower is a Dual-Purpose Wireless Communication Tower Facility. It will be used for standard AT&T cell phone/voice/data/broadband communications and First Responder Network Authority (FirstNet) <https://firstnet.gov>

Tower is a Monopole design and will be built to allow for future colocation and meets all requirements in the City Zoning Ordinance.

The Tower base will be surrounded by a fenced/secured compound. The fence is 6' high with three strands of barb wire.

This Tower will serve residents, businesses, first responders, schools, parks, visitors and overall traffic on nearby City County, State, and Interstate Roadways. Once constructed, the Tower is typically only visited 1x per month, for standard operational/maintenance. It will not create a traffic or noise problem. As part of the project/lease, AT&T has agreed to remove the Tower should it ever become obsolete or abandoned in future.



Date: 6/7/2024

Project: AT&T Monopole Tower

Address: 1215 Kilworth Dr NW

Conditional Use Permit: CUP-15

Staff Review Comments:

1. The Gaelic Addition subdivision/ area is considered common plan development.
2. It should be noted that this area contained large amounts of construction waste and debris. It should be expected to encounter buried debris, concrete, bituminous chunks, boulders and other unknown material.
3. Proposed access road is directly over public sanitary and sewer main running along the southern and eastern property lines within the drainage and utility easements. No private utilities may be located within the drainage and utility easement. Access easement may be granted along with construction of private access road within the drainage and utility easement.
4. The City has maintenance responsibilities for the sanitary and sewer main within the drainage and utility easement, which may include replacement. City will not be responsible for private access road restoration if maintenance activities compromise the gravel section.
5. As currently designed, temporary easement may be required from adjacent property to construct private access road.
6. Proposed Cell Tower subsurface plans, including structural foundations, shall be submitted prior to construction to confirm no impacts to public infrastructure.
7. Post-construction stormwater management is necessary prior to any construction activity related to this project.
8. The City will explore options for overall stormwater management improvements for the 3 remaining City owned properties between Kilworth Dr NW and the Canadian Pacific Railway. This includes lots 8 through 10 of Block 1 in Gaelic Addition plat.
9. Additionally, the feasibility of including Kilworth Dr NW in potential stormwater improvements should be studied.
10. Storm sewer serving Kilworth Dr NW was constructed in 1985 and may warrant updated system modeling.
11. All new development and construction activity is subject the following provisions and conditions:
 - a. City of Owatonna Stormwater Management Code 52.00.
 - b. City of Owatonna Grading Permit coverage is required.
 - c. Minnesota Pollution Control Agency (MPCA) NPDES/SDS MS4 Permit MNR040000 post construction stormwater management criteria shall be met.
 - d. MPCA NPDES/SDS Construction Stormwater General Permit MNR100001 coverage is required.

12. All typical permit termination requirements shall be met including:

- a. Long-Term Operations, Inspection, and Maintenance Plan will be required for any permanent stormwater facilities.
- b. Recorded Stormwater Facility Maintenance Agreement is required for any permanent stormwater facilities.
- c. Submission of
- d. Final topographic survey and as-built will be required. As-built shall be submitted as .pdf and GIS compatible format (CAD or shapefile is acceptable).

Should you have any questions, please call 507.444.4350.

Thank You



Sean Murphy
Director of Public Works and City Engineer

June 5, 2024

To: Planning Commission

From: Community Development Department

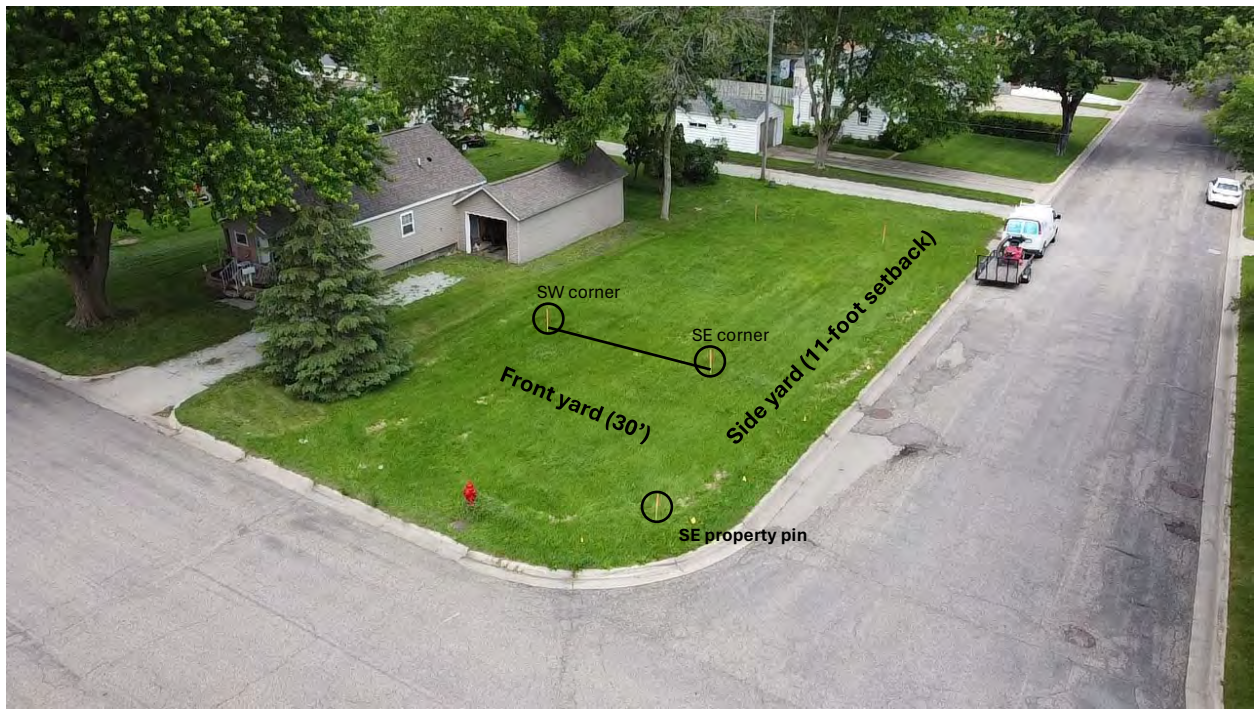
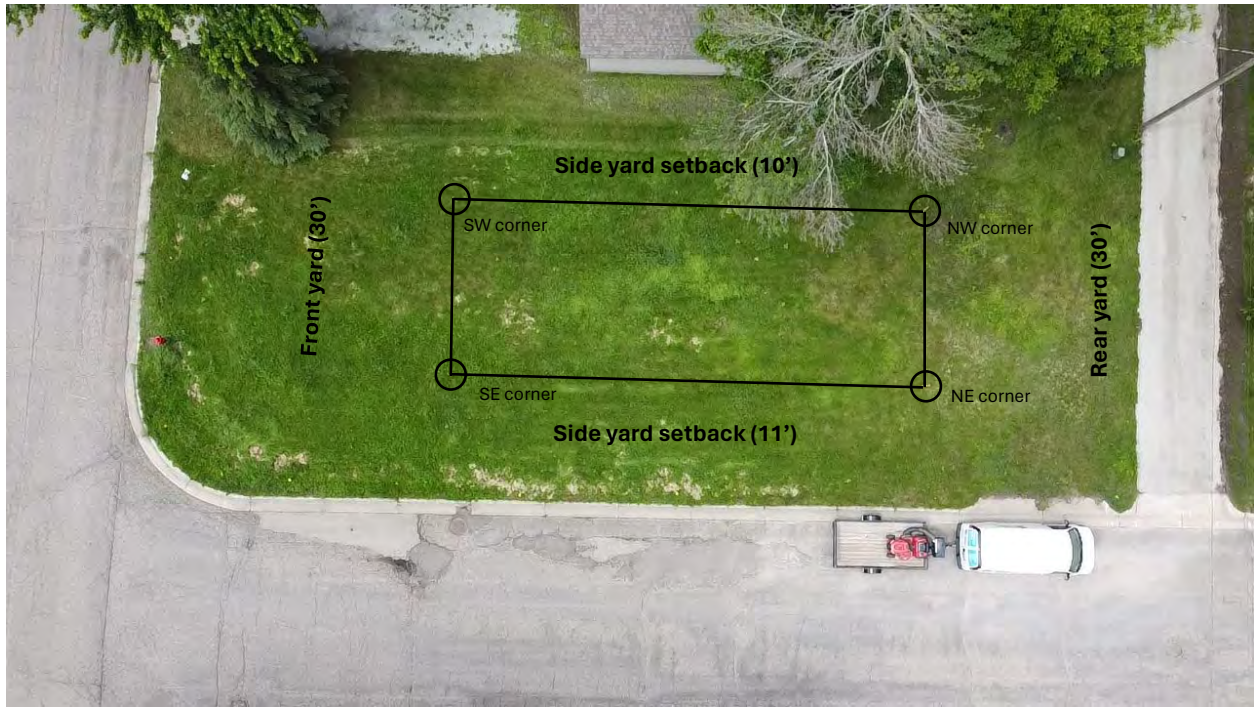
RE: Application VAR-18 by Eric Hoyer, Two Rivers Habitat for Humanity, requesting a side yard setback variance of 9 feet where a 20-foot side yard setback is required from the east property line on a corner lot. Section 157.028 (A) states the setback requirements.

Application Review:

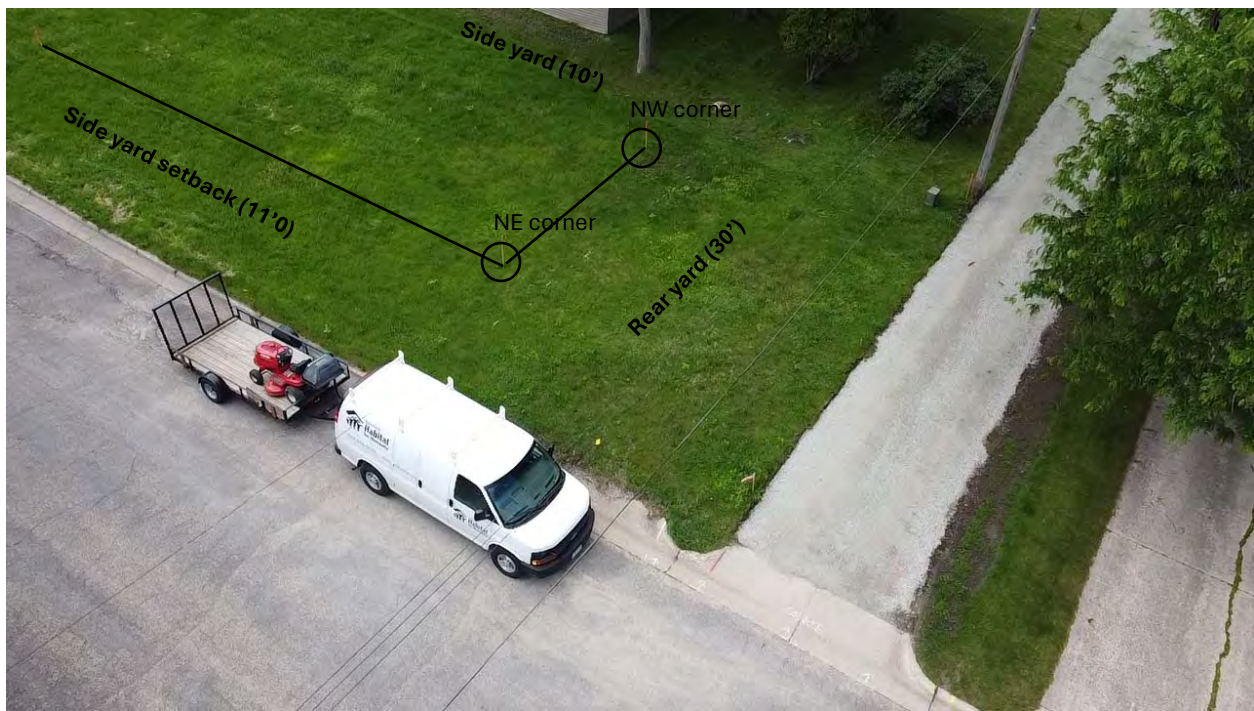
PIN:	17-132-0324 Now referred to as “subject property”
Applicant/Owner	Eric Hoyer, now referred to as “applicant” Two Rivers Habitat for Humanity, now referred to as “owner”
Location of Property	824 Vine ST E
Zoning Map	R-4 Townhouse District
Zoning Ordinance	Ordinance 157.028 requires a 20-foot side yard setback when abutting a public ROW
Report Attachment	Location map Aerial photo Zoning map Site plan Building plans Project Narrative

Proposed Development

- The applicant is proposing a three-bedroom, single story, 24’ x 63’, 1,512 square foot home
- Lot dimensions are 45’ x 125’ (non-conforming lot). The size of the parcel 5,662.80 square feet (0.13 acres)
- Proposed setbacks:
 - o Front yard: 30 feet
 - o West side yard: 10 feet
 - o East side yard: 11 feet
 - o Rear yard: 30 feet
- Driveway access will be off the alley



Images provided by applicant.



Images provided by applicant.

Ordinance Summary

- 157.028 requires side yards abutting a public ROW shall not be less than 20 feet from the ROW.
- Lot standards for detached single family in R-4 district is 9,000 square feet, minimum lot width of 74 ft. *The lot does not meet these standards.*
- Detached single-family home is a permitted use in R-4 district
- Traffic visibility triangle on corner lots requires vacant area, with no fences structures, grading, or planting can impede vision between 2.5-8 feet above centerline grades of the intersecting streets within 20 feet of street intersecting ROW lines
- Front, rear, and west side yard setbacks conform to standards
 - o Front: 30 feet
 - o Side (west): 10 feet
 - o Side (east): 11 feet; seeking 9-foot variance from 20' requirement
 - o Rear: 30 feet

Parcel analysis: The subject property is a 5,662.8 sq. feet (0.13 acre) parcel on the corner of Birch Avenue N and Vine St E. This parcel is an undeveloped non-conforming lot. Existing lot width and size are smaller than what current city ordinance would allow for newly platted lots. The parcel abuts an alley to the north.

Easements: Our records show no easements on the property.

Utilities: No existing sewer or water services exist to this lot. Sanitary sewer is located in Vine St and in Birch Ave up to the alley on the north side of the parcel. A fire hydrant is located on the southeast side of the property. Water is available on Vine St E and Birch Ave NE.

Natural resources: no wetlands or sensitive environmental areas exist on the property

Surrounding land use and zoning: The property to the north is zoned R-1, separated by the alley. The property to the east, separated by Birch Ave NE, is zoned R-4. The property to the south, separated by Vine Street E is zoned R-5. The parcel to the west is zoned R-4. The property to the southwest is zoned I-1 light industrial.

Comprehensive Plan

Future land use: This parcel is identified as low density residential. Parcls to the north, east, south and west are also identified as low density residential.

Comprehensive Plan Residential goals:

- Assure that new growth is compatible with the existing development pattern and that development occurs in a fashion that best utilizes existing infrastructure and minimizes public costs.
- Discourage unnecessary urban sprawl into the rich agricultural areas surrounding the city and encourage the county and townships to maintain a policy of protecting agricultural uses and directing urban levels of development into cities where such growth can best be accommodated.

FINDINGS OF FACT

1. Eric Hoyer of Two Rivers Habitat for Humanity hereby referred to as “applicant” and Two Rivers Habitat for Humanity as “owner”
2. That the property is zoned R-4 Townhome District
3. Detached single-family is a permitted use in the R-4 Townhome District
4. That the property is a non-conforming lot
5. That the variance application was published and notice was provided to property owners within 350 feet of the subject property
6. That a public hearing was held at the Planning Commission on June 11, 2024
7. The variance is in harmony with the general purposes and intent of the Ordinance because the east side yard provides usable side yard space. Because there is no impact to the visibility corner.
8. The request is in general alignment with the Comprehensive Plan as this parcel is identified as low density residential on the Future Land Use Map.
9. The circumstances of the property are not entirely caused by the landowner because the lot is non-conforming and the minimum home width is 24 feet. Front, rear, and west side yard setbacks have been reached. The minimum home size as required by ordinance would not fit on the lot with the required setbacks.
10. The variance is reasonable because a side yard setback of 11 feet is a larger set back requirement than detached-single family homes not on a corner lot. Because the traffic visibility corner will not be impacted because the front yard setback is typical (30 feet).
11. The variance will not alter the essential character of the neighborhood because the home will be a single-story, similar to homes in this neighborhood. Because the reduced side yard setback and its relationship to the street, the proximity to the street will encourage slower traffic on Birch and at the intersection at Birch and Vine.

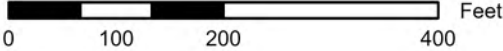
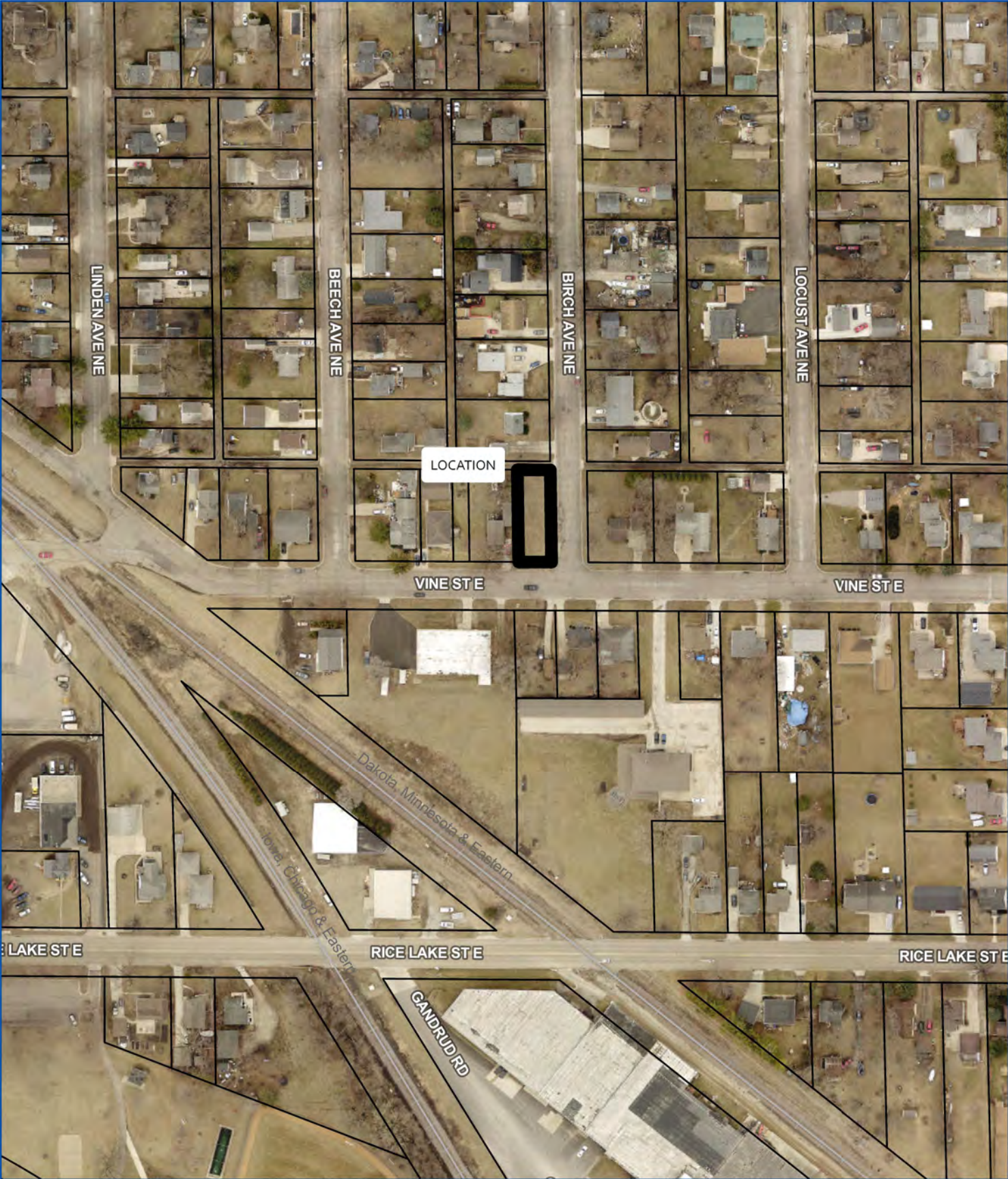
Public Comment

At the time of this staff report, no comments have been submitted via written comments, e-mail, or phone.

Staff Recommendation

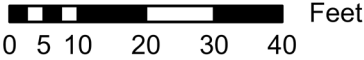
Application VAR-18 by Eric Hoyer for a side yard setback of 9 feet. It appears that all of the requirements have been met for the variance and conditional use permit requests. Absent any new information presented at the meeting, **staff recommend approval of the variance based on findings of fact and the following conditions:**

1. The site triangle at the corner of Birch and Vine must remain open, completely free of obstruction, during construction and post-construction
2. No yard encroachments such as decks or steps shall be permitted in the east side yard setback



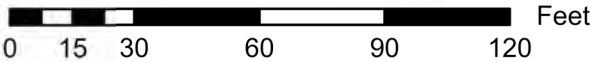
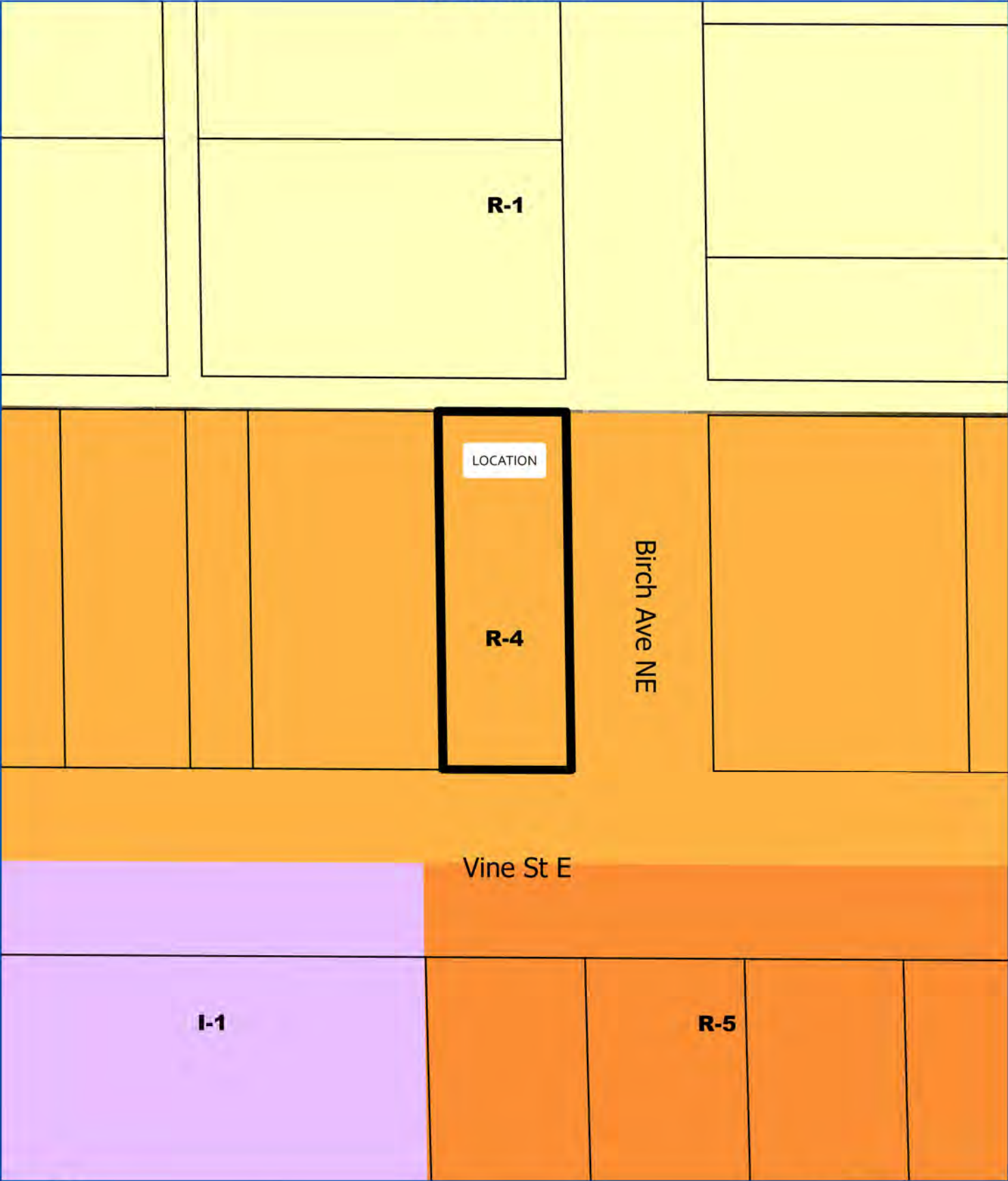
This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This information is a compilation of records, information, and data located in various city, county, and state offices and other sources, affecting the area shown, and is to be used for reference purposes only.

May 23, 2024



This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This information is a compilation of records, information, and data located in various city, county, and state offices and other sources, affecting the area shown, and is to be used for reference purposes only.

May 23, 2024



This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This information is a compilation of records, information, and data located in various city, county, and state offices and other sources, affecting the area shown, and is to be used for reference purposes only.

June 06, 2024

- SWPPP NOTES:
1. NO CONCRETE WASHOUT ON-SITE.
 2. PERFORM DEWATERING ACTIVITIES INTO TEMPORARY DEWATERING BASIN. DO NOT DEWATER INTO SANITARY SEWER SERVICE OR INTO CURB & GUTTER.
 3. STABILIZE LAWN AREA IMMEDIATELY AFTER MASS GRADING ACTIVITIES ARE COMPLETE WITH SOD OR DISC ANCHORED MN/DOT TYPE 1 MULCH. (THIS WORK WILL NEED TO BE COMPLETED BEFORE THE MAIN STRUCTURE IS ERECTED.) SOD OR SEED BUFFER AREAS AS SOON AS CONSTRUCTION ACTIVITIES ALLOW. DURING WINTER CONSTRUCTION, SPREAD MULCH AND SPRAY WITH WATER TO FREEZE TO GROUND. SEED AND DISC ANCHOR NEW MULCH IN SPRING, OR SOD.
 4. DO NOT STOCKPILE GRANULAR MATERIALS WITHIN STREET RIGHT-OF-WAY.
 5. PROTECT DOWNSTREAM STREET CATCH BASINS FROM SEDIMENT.
 7. SOLID WASTE:
COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
SIGNED SEPARATE DISPOSAL BINS WITH A SIGN REQUIRING USE OF SAID BINS WILL BE INSTALLED AND UTILIZED.
 8. HAZARDOUS MATERIALS:
OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES WILL BEE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT TO PREVENT SPILLS, LEAKS, OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS WILL BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE WILL BE IN COMPLIANCE WITH MPCA REGULATIONS. PLASTIC SHEETING UNDER AN ABSORBENT MATERIAL WILL BE PLACED ON THE GROUND NEAR FUEL STORAGE TANKS TO PREVENT SPILLS WHEN LOADING OR UNLOADING THE TANKS. SPILL KITS WILL BE PROVIDED NEAR STORAGE.
 9. PORTABLE TOILETS WILL BE SECURED.
 10. CONTRACTOR SHALL INSPECT AND MAINTAIN MEASURES AT MINIMUM ONCE EVERY (7) DAYS DURING ACTIVE CONSTRUCTION, AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5" IN 24 HOURS.
 11. INSPECTIONS WILL INCLUDE STABILIZED AREAS, EROSION PREVENTION AND SEDIMENT CONTROLS, DISCHARGE CHANNELS AND DEVICES, PERMANENT STORMWATER BMP'S AND RECEIVING STORM SEWER FACILITIES. REPAIR ALL NONFUNCTIONAL BMP'S BY THE END OF THE NEXT BUSINESS DAY OR AS SOON AS FIELD CONDITIONS ALLOW.
 5. LOT LINES OR BIO-ROLL LINES ARE CONSTRUCTION LIMITS U.O.N. PLEASE NOTE THE CONSTRUCTION LIMITS ON THIS PLAN. IF ADJACENT LAND IS UTILIZED FOR ACCESS OR STAGING OF EQUIPMENT/MATERIAL, PROVIDE TEMPORARY CONSTRUCTION BMP'S INCLUDING PERIMETER CONTROL, A STABILIZED ENTRANCE/EXIT, AND PERMANENT STABILIZATION OF DISTURBANCES.

- GENERAL NOTES:
1. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPAC U1 AT WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES (152 MM) FROM THE GROUND OR LESS THAN 2 INCHES (51 MM) MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER.
 2. FINISH GRADE ADJACENT TO BUILDING IS MIN. 6" BELOW TOP OF FOUNDATION, EXCEPT AT PAVED AREAS. PAVED AREAS WITHIN 6' OF TOP OF FOUNDATION MUST BE SLOPED AT 2% AWAY FROM BUILDING.
 3. FINISH GRADE 10' FROM BUILDING IS MIN. 6" BELOW FINISH GRADE ADJACENT TO BUILDING.
 4. MIN. GARAGE FLOOR ELEVATION IS AS SHOWN.

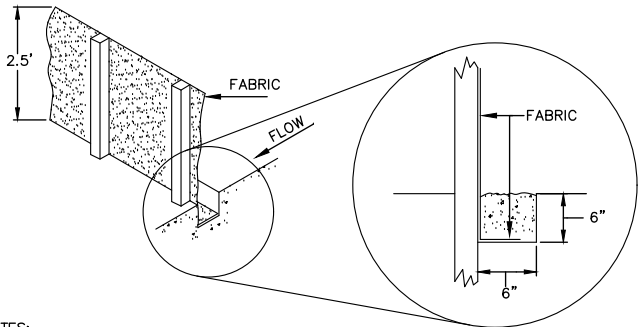
LEGEND

- =MIN. 9"x30"x20" ROCK CONST. ENT.
- =CONCRETE SIDEWALK
- =CONCRETE DRIVEWAY
- =SILT FENCE OR 8" BIO ROLL
- WW=WINDOW WELL
L/O=LOW OPENING
W/O=PATIO DOORS
L/W=LOOKOUT WINDOW
EG=EXISTING GRADE
FG=FINISH GRADE
- = PROPOSED SURFACE WATER FLOW DIRECTION
=EXISTING SURFACE WATER FLOW DIRECTION

CONTROL ELEVATION = 1185.31
MIN FNDN ELEV = 1186.81
MAX FNDN ELEV = 1187.98

GENERAL SITE NOTES:

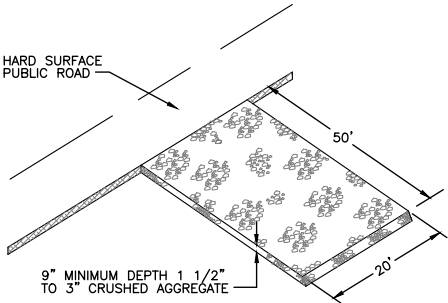
SITE AREA: XX
DISTURBED AREA: XX
EXISTING IMPERVIOUS SURFACE: XX
PROPOSED IMPERVIOUS SURFACE: XX



NOTES:

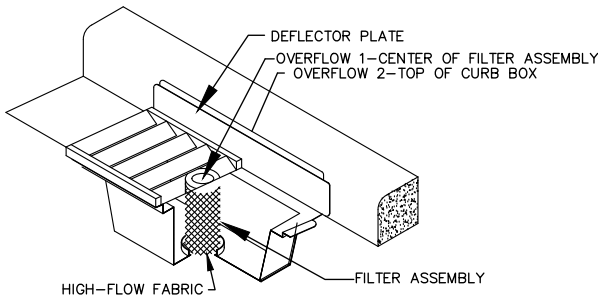
1. PLACE BOTTOM EDGE OF FENCE INTO 6" DEEP
2. POSTS SHALL BE 4' ON CENTER, 2" x 2" HARDWOOD, PINE OR STANDARD STEEL FENCE POSTS DRIVEN 2' INTO THE GROUND.

EROSION CONTROL FENCE
(MACHINE SLICED)



- NOTES:
1. FILTER FABRIC SHALL BE PLACED UNDER ROCK TO STOP MIGRATION OF MUD THROUGH ROCK.
 2. ENTRANCE MUST BE REGULARLY MAINTAINED TO PREVENT SEDIMENTATION ON PUBLIC ROADWAYS. FUGITIVE ROCK WILL BE REMOVED FROM ADJACENT ROADWAYS DAILY OR MORE FREQUENTLY AS NECESSARY.

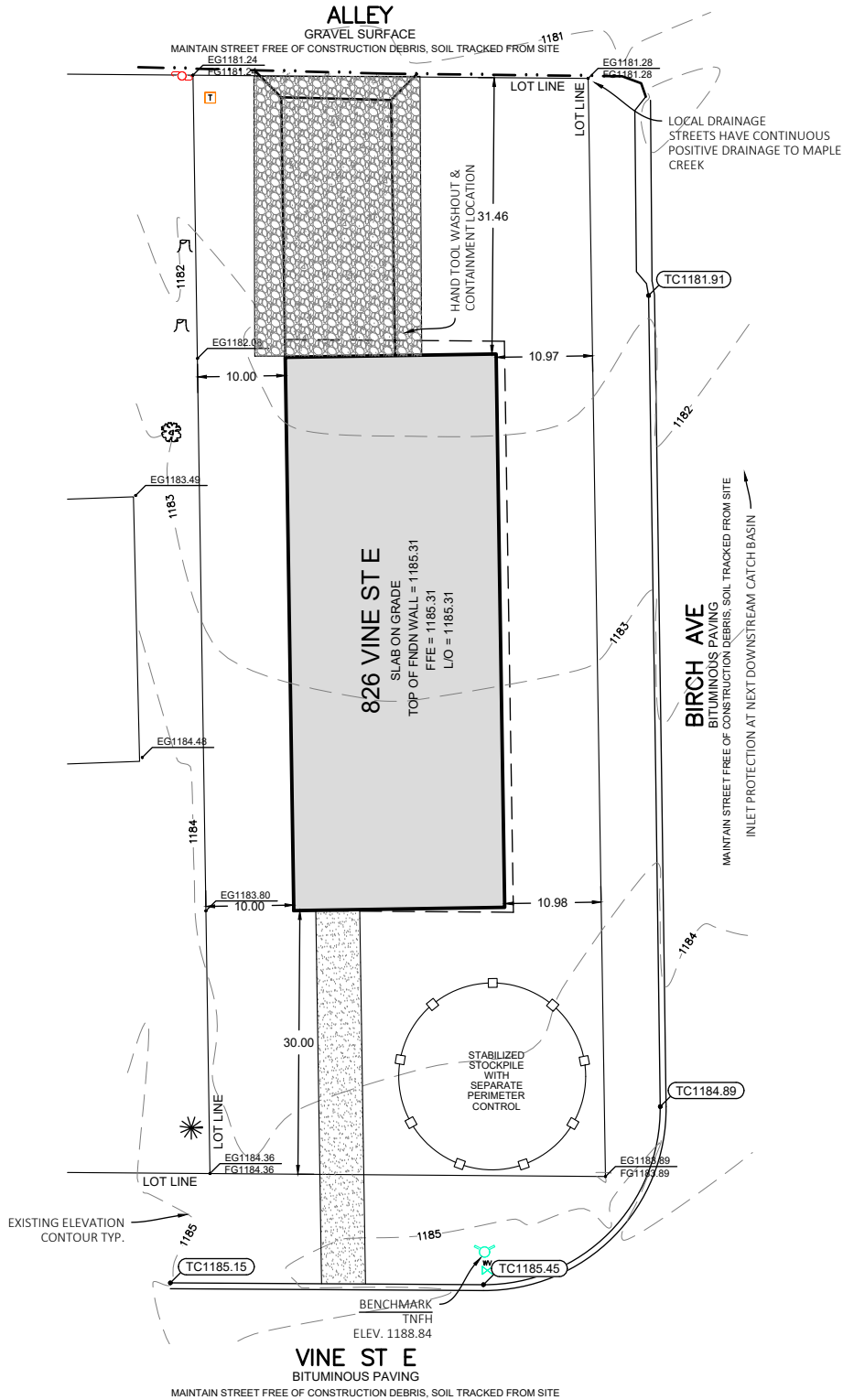
EROSION CONTROL PROTECTION AT CONSTRUCTION ACCESS



CATCH BASIN INLET PROTECTION

SCHEDULE OF OF MAJOR ESC BMP'S
(to be completed by Contractor)

Item	Anticipated Date
PERIMETER SILT FENCE/BIO-ROLL & INLET PROTECTION	
TOPSOIL STRIPPING	
ROCK CONSTRUCTION ENTRANCE	
BUILDING "DRIED-IN"	
PERMANENT TURF ESTABLISHMENT	
REMOVAL OF TEMP. ESC BMP'S	



DRAWINGS ON 11x17 SHEETS ARE HALF SCALE

REV.	BY	DATE
-	-	-



415 West North Street Owatonna, MN 56057-4514-4598

DESIGNED: JHS
DRAWN: JHS
CHECKED: BA
Date: 5/31/24
DWG: 24-1106

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

John H. Schulte V
License No. 44639 Date: 5/31/24

826 VINE ST E
TWO RIVERS HABITAT FOR HUMANITY
LOT 24 BLOCK 3 BELMONT
SITE PLAN

SHEET
1
OF
1

TWO RIVERS HABITAT FOR HUMANITY

OWATONNA

MINNESOTA

CONSTRUCTION DOCUMENT PACKAGE

PLANS ISSUED:05/08/2024

SITE LOCATION MAP



PROJECT SITE

826 E VINE ST,
OWATONNA, MN 55060

ARCHITECT

CRW ARCHITECTURE + DESIGN GROUP
211 ELEVENTH AVENUE NORTHWEST
ROCHESTER, MINNESOTA 55901
CONTACT: ALYSSA FORDHAM, A.I.A.
PHONE NUMBER: (507) 206-6201
EMAIL: afordham@crwarchitecture.com

CONTRACTOR

TWO RIVERS HABITAT FOR HUMANITY
CONTACT: HANNAH MCATEE
EMAIL: ehoyer@towrivershabitat.org
PHONE NUMBER: (507) 516-0564

MECHANICAL CONTRACTOR

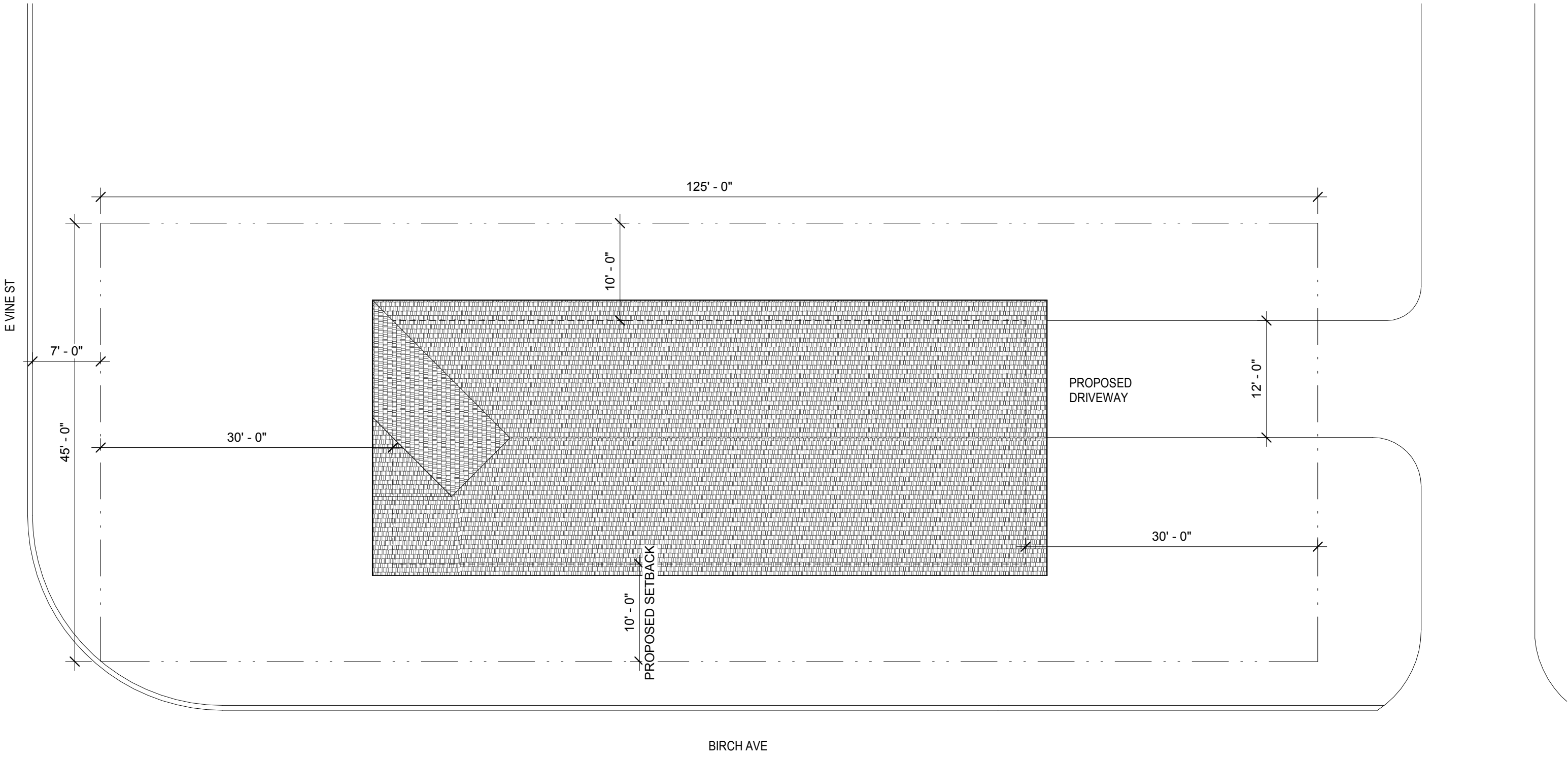
TO BE DONE ON A DESIGN/BUILD BASIS

ELECTRICAL CONTRACTOR

TO BE DONE ON A DESIGN/BUILD BASIS

SHEET INDEX

1-GENERAL INFORMATION	
A0.0	PROJECT TITLE SHEET
A0.1	GENERAL INFORMATION SHEET
3B-ARCHITECTURAL	
A1.0	FOUNDATION & FIRST LEVEL PLANS
A1.1	ROOF PLAN, SECTIONS, & DETAILS
A2.0	EXTERIOR ELEVATIONS



1 SITE PLAN
1" = 10'-0"



211 11th ave nw
rochester, mn 55901
p. 507.206.6201
f. 507.206.4621
www.crwarchitecture.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

05/08/2024
NUMBER DATE

TWO RIVERS HABITAT
FOR HUMANITY
OWATONNA
MINNESOTA

PROJECT NUMBER 24-009
DATE 05/08/2024
DRAWN BY Author
CHECKED BY Checker
ISSUE/REVISION HISTORY

PROJECT
TITLE SHEET

SHEET NUMBER

A0.0

OF SHEETS

GENERAL CONSTRUCTION NOTES:

DESIGN LOADS FOR SOUTHEAST MINNESOTA:

ROOF SNOW LOAD: 36 PSF
ROOF DEAD LOAD: 17 PSF
ATTIC SPACE: 30 PSF
FLOOR LIVE LOAD: 40 PSF
FLOOR DEAD LOAD: 10 PSF
WIND: PER ASCE 7-05
BASE WIND SPEED = 90 MPH
IMPORTANCE FACTOR = 1.0
EXPOSURE B

SITE

PLOT PLAN DRAWN FROM DATA ON RECORDED PLATS; INFORMATION SHOWN MUST BE VERIFIED BY BUILDER FOR COMPLIANCE WITH ANY RECORDED RESTRICTIONS; AND/OR COVENANTS; AND COMPLIANCE WITH HUD "MIN. PROPERTY STANDARDS" IF APPLICABLE. BUILDER SHALL VERIFY SITE CONDITIONS THAT WOULD DICTATE PLAN CHANGES.

FOOTING AND FOUNDATION

SOIL ASSUMED BEARING VALUE OF 1500 PSF AND TO BE UNDISTURBED
NONORGANIC. CONTRACTORS TO VERIFY ALL FOOTINGS TO REST ON UNDISTURBED SOIL, AND BELOW OR AT MINIMUM DESIGN FROST LEVEL OF 42" BELOW FINISHED GRADE.

CONCRETE COMPRESSIVE STRENGTH:
FOOTING: 5,000 PSI
BASEMENT WALLS: 3,000 PSI; AIR-ENTRAINED
BASEMENT SLAB: 2,500 PSI
GARAGE FLOOR, PORCH, STEPS: 3,500 PSI; AIR-ENTRAINED

ICF WALLS - FOX BLOCK:

6" CORE (11.25" FORM)
TYPE #4 (1/2" DIA.) 60 GRADE REINFORCEMENT BARS HORIZONTAL U.N.O.
SEE DETAILS FOR SPACING
TYPE #4 (1/2" DIA.) 60 GRADE REINFORCEMENT BARS VERTICAL
SEE DETAILS FOR SPACING
INSTALL SOLID BLOCKING AT ANCHOR BOLT LOCATIONS WHEN THE JOISTS ARE PARALLEL TO AND DIRECTLY ABOVE SOIL. PRESSURE RESISTING 7 FEET HIGH FOUNDATION WALLS. PROVIDE BLOCKING IN THE FIRST THREE JOIST OR TRUSS SPACES AND SPACED A MAXIMUM OF 24" O.C.
PROVIDE 1/2" AIR SPACE ON TOP, SIDES, AND ENDS OF ALL WOOD BEAM SEATS INTO CONC. BLOCK OR POURED CONC. WALLS. FILL CONC. BLOCK CORES WITH CONC. BELOW FOR BEAM SEAT.
WHERE CONCRETE SLAB MEETS ICF WALL, FOAM OF ICF TO BE CUT AND REMOVED SO THAT SLAB SITS TIGHT AGAINST CONC. CORE.
SEE UNTEL SCHEDULES ON SHEETS A1.1 & A1.2 FOR SIZING & REINFORCEMENT
SEE DETAIL 5 FOR TRUSS CONNECTION TO ICF WALL. SIMPSON HEMIMETA TO BE USED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALT. CONT. 2x6 SILL PLATE WITH 1 2" ANCHOR BOLTS AT 24" O.C. WITH SIMPSON H2.5 TIES OR SIMILAR.

FOUNDATION WATERPROOFING

WATERPROOFING SHALL BE INSTALLED AT A MINIMUM FROM THE TOP OF THE FOOTING TO THE FINISHED GRADE OR IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS. WATERPROOFING SHALL EXTEND ACROSS THE TOP OF THE FOUNDATION WALL, UNLESS A FULL WIDTH, CLOSED CELL MATERIAL IS INSTALLED TO CREATE A SEAL BETWEEN SILL PLATE AND FOUNDATION WALL.

WALLS SHALL BE WATERPROOFED IN ACCORDANCE WITH ONE OF THE FOLLOWING.
1. DELTAS BELOW GRADE DIMPLED MEMBRANE PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
2. AN ACRYLIC COATING, LATEX COATING, MORTAR, OR PARGING APPROVED FOR USE ON ICF WALLS.

FOAM PROTECTION

WHEN FOUNDATION WALL INSULATION IS ON THE EXTERIOR AND IS NON DRAINING THE ENTIRE FOAM INSULATION SHALL BE COVERED WITH A 6 MIL POLYETHYLENE SLIP SHEET. THE PORTION FROM THE TOP OF THE FOUNDATION WALL TO 6" BELOW GRADE MUST BE COVERED BY AN APPROVED PROTECTIVE COATING FINISH TO PROTECT THE INSULATION FROM DETERIORATION DUE TO SUNLIGHT AND PHYSICAL ABUSE.

EXTERIOR FLASHING

AN APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED AT THE EXTERIOR WALL ENVELOPE TO PREVENT THE PENETRATION OF WATER INTO THE BUILDING INCLUDING THE FOLLOWING AREAS:
1. WINDOWS & DOOR OPENINGS.
2. CHIMNEYS & MASONRY CONSTRUCTION.
3. UNDER & AT ENDS OF COPING & SILLS.
4. ABOVE PROJECTING WOOD TRIM.
5. WHERE DECKS ATTACH TO WALLS.
6. ROOF & WALL INTERSECTIONS.
7. BUILT IN GUTTERS

EAVE SYSTEM

2x6 SUBFASCIA
2x4 LOCKOUTS 24" O.C.
AIR CHUTES 48" O.C.

ROOF SYSTEM

TRUSSES 24" O.C. SPECS BY MANUFACTURER
5/8" OSB ROOF SHEATHING
2 LAYERS 15# FELT APPLIED SHINGLE FASHION AND ICE AND WATER SHIELD AT EAVES AND VALLEYS
ARCHITECTURAL/COMP. ASPHALT SHINGLE ROOFING
PROVIDE STEEL SUPPLEMENTAL UPLIFT BRACKETS FOR ALL TRUSSES
PROVIDE CLIPS AS REQUIRED FOR ROOF SHEATHING
VENTILATION - SEE SECTIONS. MIN. NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.

FRAMING

ALL STRUCTURAL WOOD MEMBERS TO BE SPF #2 OR BETTER (775 F REPETITIVE) UNLESS OTHERWISE NOTED.
DOUBLE FLOOR JOISTS UNDER PARALLEL PARTITIONS.
1X3 BRIDGING AT CENTER OF SPANS OVER 8'-0"
ALL WOOD IN CONTACT WITH CONCRETE SHALL BE RDWD OR TREATED WOOD. STUDS TO BE MINIMUM OF STUD GRADE S4S.
AT CONCENTRATED LOAD BEARING POINTS, PROVIDE SOLID BLOCKING THRU FLOOR SYSTEM T POSTS OR APPROPRIATE FOOTINGS.
FLOOR JOISTS AND BLOCKING SHALL BE CONNECTED TO THE ICF WALL WITH AN APPROVED CONNECTOR
THE FLOOR SHALL BE BLOCKED PERPENDICULAR TO THE FLOOR JOISTS. BLOCKING SHALL B FULL DEPTH WITHIN THREE JOIST SPACES OF THE FOUNDATION WALL.
MAXIMUM SPACING OF FLOOR JOISTS SHALL BE 24" O.C.

STAIRS

DOUBLE TRIMMER AT STAIR OPENING AND DOUBLE HEADER JOISTS AROUND STAIR WELL.
3-2X12 STRINGERS WITH MINIMUM 3 1/2" MATERIAL LEFT AT CUT OUTS.
6'-8" MINIMUM HEADROOM
7 3/4" MAXIMUM RISE
10" + NOSING MINIMUM TREAD. A STAIR NOSING OF NOT LESS THAN 3/4" OR MORE THAN 1 1/4" IS REQUIRED ON STAIRS. A STAIR NOSING IS NOT REQUIRED IF THE TREAD DEPTH IS A MINIMUM O 11". THE RISERS MAY BE OPEN PROVIDED THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" SPHERE ENCLOSED UNDERSIDE OF STAIRS WITH 1/2" GYP. BD.
PROVIDE A HANDRAIL. CIRCULAR HANDRAILS SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1-1/4" AND NOT GREATER THAN 2" IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 5-1/4" WITH A MAXIMUM CROSS SECTION DIMENSION OF 2 1/4". SET HANDRAIL AT A HEIGHT OF 34" TO 38" IN HEIGHT. HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH AND SHALL BE RETURNED MAXIMUM 4" OPENING BETWEEN BALUSTERS. MINIMUM RAILING HEIGHT OF 36" AT LANDING AREAS.

GUARDRAILS

GUARDS ARE TO WITHSTAND A 200LB LOAD IN ANY DIRECTION
GUARDS REQUIRED FOR PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 36" IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.
GUARD OPENING LIMITATIONS - REQUIRED GUARDS ON OPEN OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4" IN DIA.
EXCEPTION - THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6" CANNOT PASS THROUGH

CANTILEVER FLOORS

PROVIDE A WIND WASH BARRIER AT CANTILEVERED FLOORS AND BAY WDWS. (15# FELT OR AIR BARRIER)
CANTILEVER FLOORS MUST HAVE A MAX. OVERALL THERMAL TRANSMITTANCE OF 0.033 (R30).

UNCONDITIONED SPACES

FLOOR JST. FRAMING MUST HAVE AN INTERIOR AIR BARRIER ON THE WARM SIDE AND SEALED WIND WASH BARRIER

RADON CODE

RADON VENT SHALL BE A MINIMUM 3" DIAMETER PIPE ABS, PVC, OR EQUIVALENT GAS TIGHT PIP SHALL BE EMBEDDED VERTICALLY INTO THE BASE COURSE. THE VERTICAL PIPE SHALL HAVE TE CONNECTION BELOW SLAB EXTENDING 10' IN EACH DIRECTION OR TIED INTO AN INTERIOR TILE LOOP SHALL BE PROVIDED.
SUMP PITS OPEN TO SOIL OR SERVING AS THE TERMINATION POINT FOR SUB-SLAB OR INTERIOR DRAIN TILE LOOPS SHALL BE COVERED WITH A GASKETED OR OTHERWISE SEALED LID. SUMPS USED AS THE SUCTION POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM SHALL HAVE A LID DESIGNED TO ACCOMMODATE THE VENT PIPE.
RADON VENT PIPES ROUTED THROUGH UNCONDITIONED SPACES SHALL BE INSULATED WITH A MIN. OF R-4 INSULATION.

FIREBLOCKING AND DRAFTSTOPS

PROVIDE IN CONCEALED SPACES OF STUD WALLS AND PARTITION INCLUDING FURRED SPACES AT CEILINGS AND FLOOR LEVELS AT 10' INTERVALS BOTH VERTICAL AND HORIZONTAL.

EMERGENCY ESCAPE WINDOWS AND WINDOW WELL SPECS.

5 SQ. FT. MIN. 20" WIDE MIN. 24" HIGH CLEAR OPENING. WINDOWS PERMITTED AT GRADE LEVEL DEFINED AS THE WINDOW HAVING A SILL HT. OF NOT MORE THAN 44" ABOVE OR BELOW GRADE LEVEL
MIN. CEILING HT. 36" MAINTAINED ABOVE EXTERIOR GRADE FROM EXTERIOR WALL TO PUBLIC WAY (I.E. UNDER DECKS OR CANT.)
MIN. 36" CLEAR SPACE IN FRONT OF WINDOW
WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44" BELOW THE ADJACENT GROUND LEVEL SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH TH WINDOW IN THE FULLY OPEN POSITION. THE LADDER OR STAIRS SHALL BE PERMITTED TO ENCROACH A MAX. OF 6 INCHES. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF AT LEAST 12" AND SHALL PROJECT AT LEAST 3" FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

GENERAL PLAN NOTES:

DOORS AND PATIO DOORS WITH LESS THAN 9 S.F. OF GLAZING SHALL HAVE CAT TEMP GLASS. GREATER THAN 9 S.F. SHALL HAVE CAT II TEMP GLASS.

WINDOWS WITH FIXED OR OPERABLE PANELS MUST HAVE CAT II TEMP. GLASS IF IT MEETS ALL OF THE FOLLOWING:
EXPOSED AREA GREATER THAN 9 S.F.
BOTTOM EDGE OF GLAZING IS LESS THAN 18" A.F.F.
TOP EDGE OF GLAZING IS MORE THAN 36" A.F.F.
A WALKING SURFACE IS WITHIN 36" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING

GLAZING IN WINDOWS IN ALL HAZARDOUS LOCATIONS SUBJECT TO IMPACT MUST BE CAT II TEMP GLASS (IE: STAIR LANDINGS, WET LOCATIONS, RAILINGS, ADJ TO STAIRS, ETC.)

GUARDS AND WINDOW FALL PROTECTION

NOTED WINDOWS SHALL HAVE WINDOW FALL PROTECTION DEVICES WHICH COMPLY WITH ASTM F 2090, WHICH SHALL LIMIT OPENING SUCH THAT A 4" SPHERE SHALL NOT PASS THROUGH. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE SAID DEVICE SHALL ALLOW THE WINDOW TO FULLY OPEN, AND SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAT THE AREA REQUIRED FOR EGRESS WHEN EGRESS IS REQUIRED

SMOKE ALARMS

SMOKE DETECTORS ARE REQUIRED IN THE FOLLOWING LOCATIONS:
IN EACH SLEEPING ROOM
CENTRALLY LOCATED IN CORRIDORS WITH ACCESS TO EACH SLEEPING AREA
ONE EACH FLOOR OF THE DWELLING, INCLUDING THE BASEMENT
WHERE THE CEILING HEIGHT OF A ROOM OPEN TO A HALLWAY SERVING BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES OR MORE, SMOKE DETECTORS MUST BE INSTALLED IN THE HALLWAY AND THE ADJACENT ROOM.
IN NEW CONSTRUCTION, SMOKE DETECTORS MUST RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP

CARBON MONOXIDE ALARMS

IN NEW CONSTRUCTION, CO ALARMS ARE REQUIRED WHEN AT LEAST ONE OF THE FOLLOWING CONDITIONS EXIST:
FUEL-FIRED APPLANCE ARE INSTALLED
ATTACHED GARAGE
CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE, AND WITHIN 10', OF EACH SLEEPING AREA OR BEDROOM.

STRUCTURE

ALL DESIGN LOADS, COLUMN SIZES AND FOOTING SIZES FOR CONCENTRATED LOADS WILL BE INDICATED ON PLAN AFTER TRUSS MANUFACTURER PROVIDE TRUSS LAYOUT FOR GIRDER LOCATIONS AND END REACTIONS IN POUNDS. FOLLOW POINT LOADS FROM BEAMS & GIRDER TRUSSES THROUGH FLOOR SYSTEM TO BEARING W/ SOLID BLOCKING

KEY NOTES:

F U.L. APPROVED EXHAUST FAN VENTED TO OUTSIDE.

S APPROVED SMOKE DETECTORS.

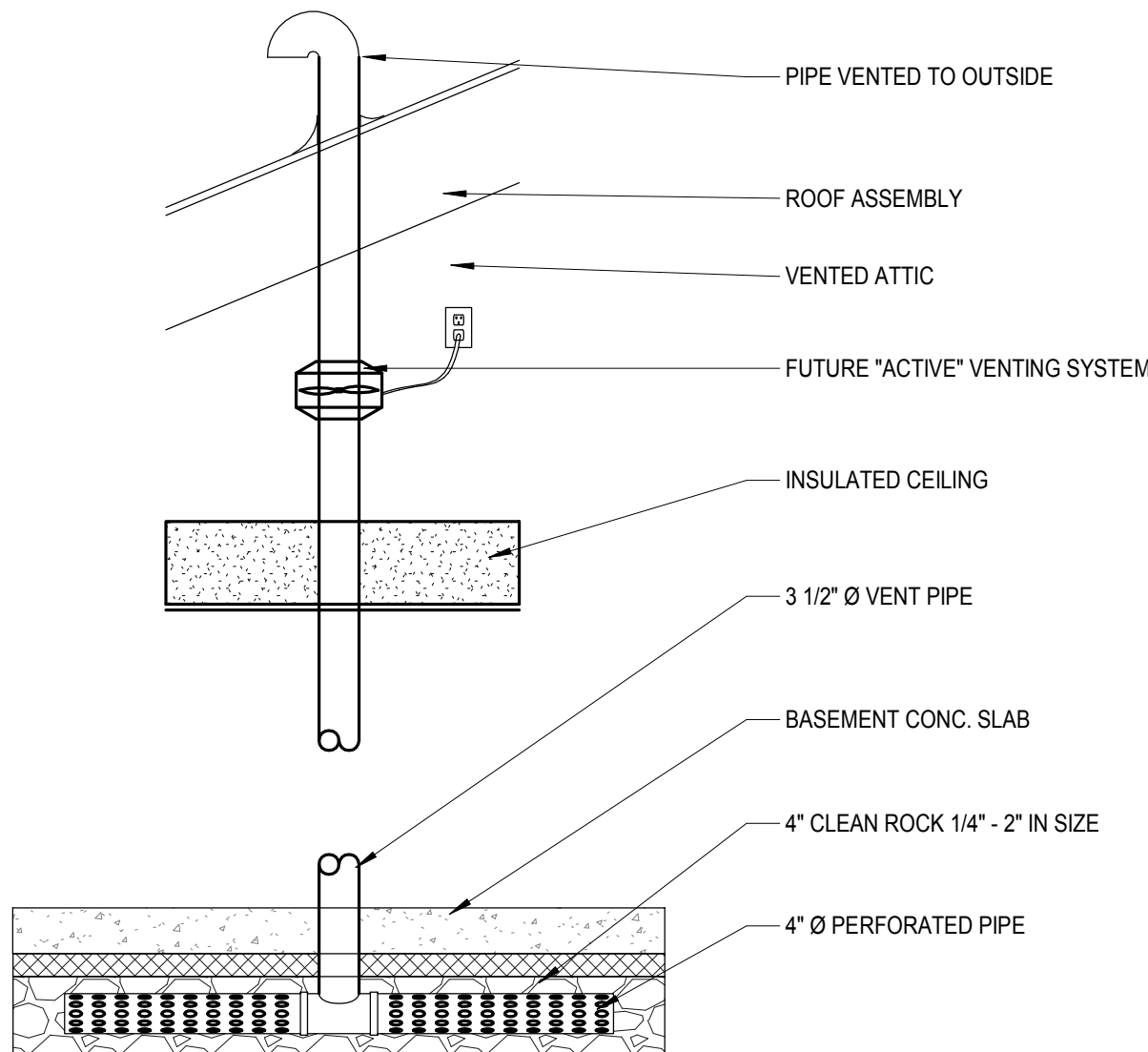
CO APPROVED CARBON MONOXIDE DETECTORS.

FUTURE WALLS SHOWN AS DASHED

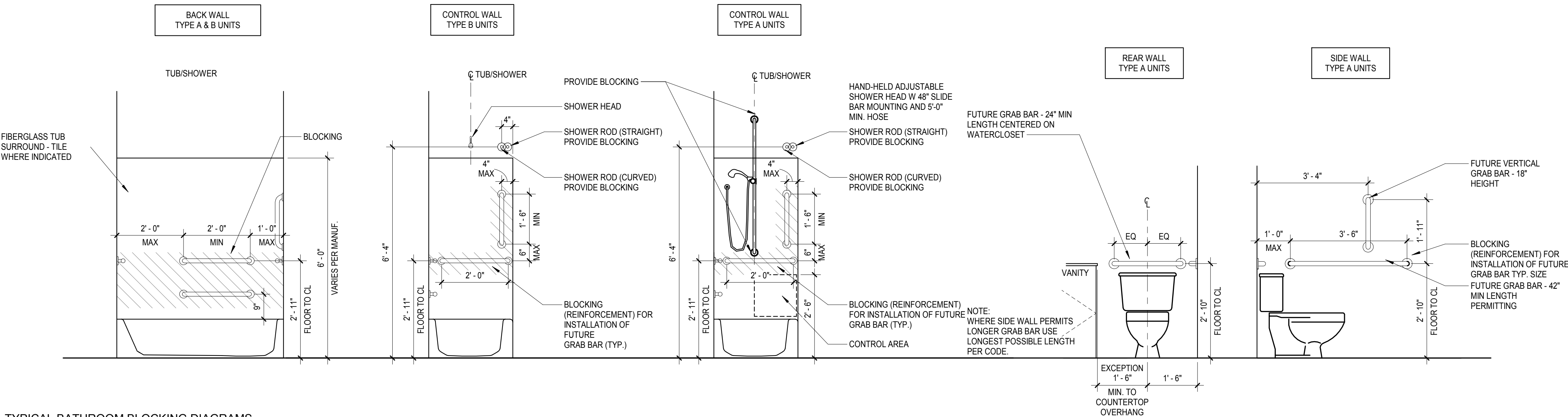
SOLID WALLS TO BE FRAMED ONLY

CODE SUMMARY:

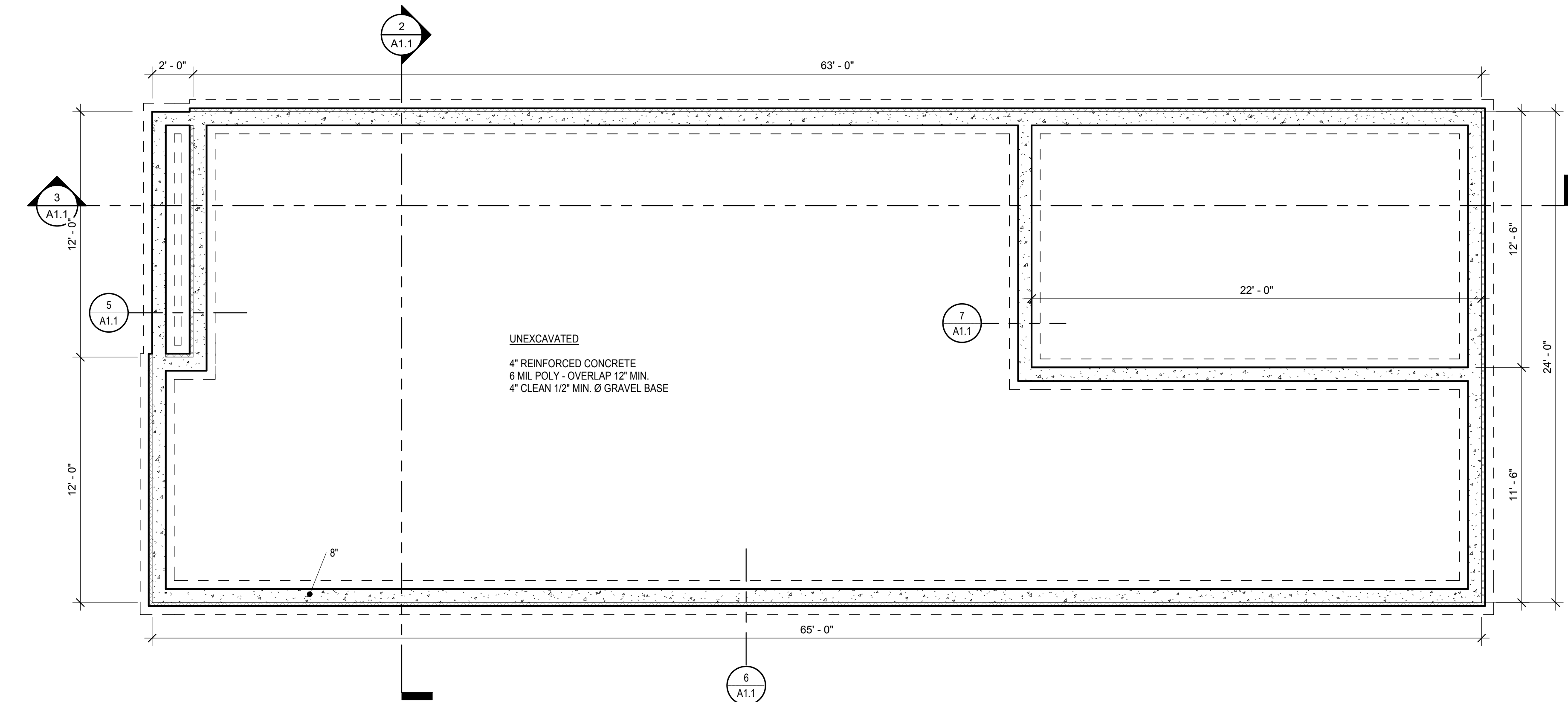
BUILDING CODES USED FOR DESIGN:
2020 INTERNATIONAL RESIDENTIAL CODE
2020 MINNESOTA RESIDENTIAL CODE
2020 MINNESOTA ENERGY CODE



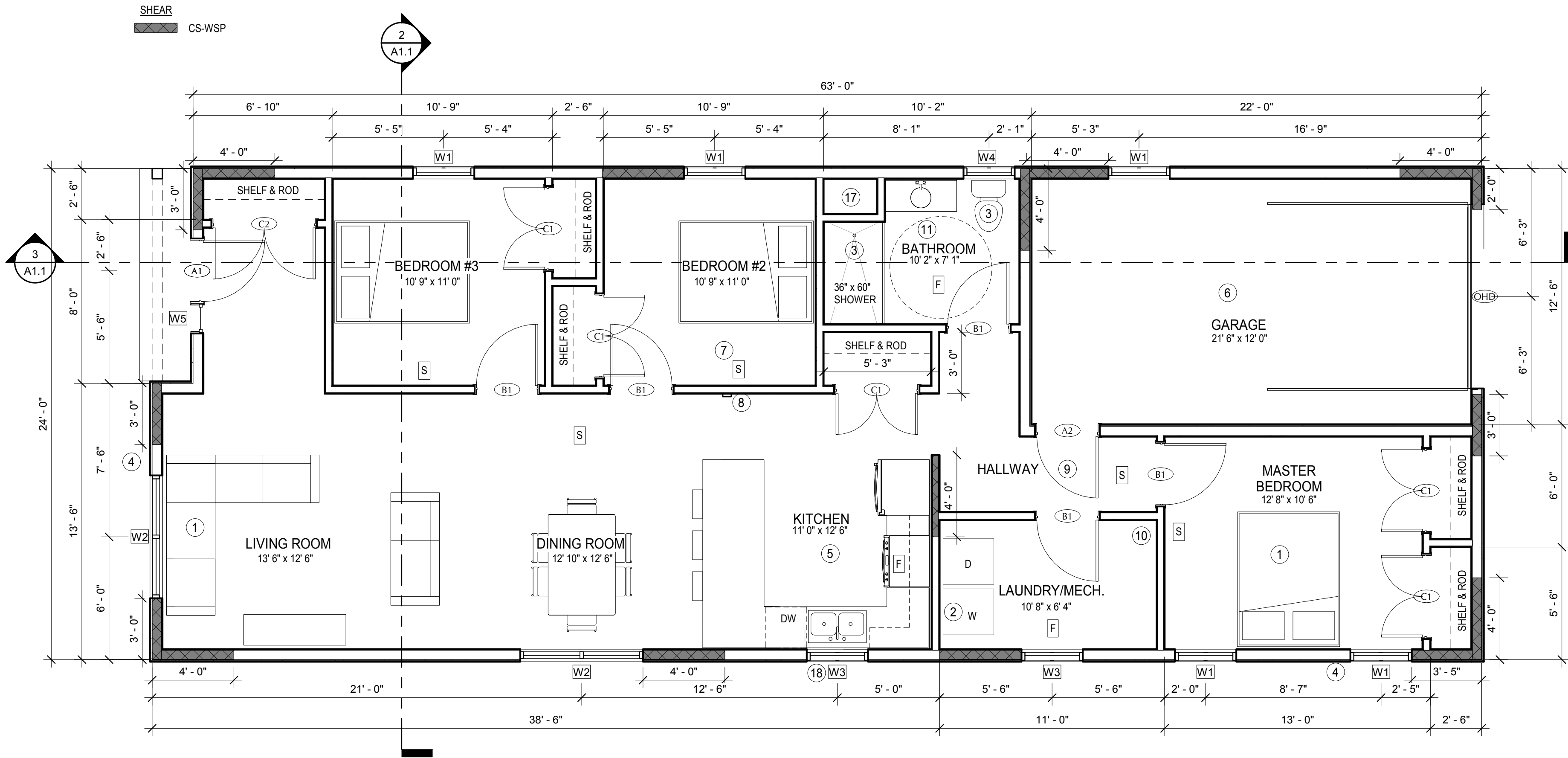
2 PASSIVE RADON CONTROL DETAIL
3/4" = 1'-0"



1 TYPICAL BATHROOM BLOCKING DIAGRAMS
1/2" = 1'-0"



1 FOUNDATION PLAN
1/4" = 1'-0"



2 MAIN LEVEL PLAN
1/4" = 1'-0"

SF = 1,225
(EXCLUDES GARAGE)

FOUNDATION NOTES:

- FOOTING SIZE & REINFORCEMENT
 - 1500 LB SOIL BEARING
 - 18" x 8", (2) #4 REBAR CONT. 3" FROM BOTTOM
- SIMPSON ABU66Z OR SIMILAR STANDOFF BASE AT PATIO POST

GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL REQUIREMENTS OF THE OWNER. EACH TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PROCEDURES, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THEIR WORK.
- THE GENERAL CONTRACTOR SHALL FILE FOR AND OBTAIN ALL REQUIRED PERMITS, LETTERS OF SATISFACTORY COMPLETION AND CERTIFICATES OF OCCUPANCY FROM THE LOCAL BUILDING OFFICIALS.
- ALL EQUIPMENT SHOWN AS DASHED IS BY THE OWNER. ELECTRICAL CONTRACTOR TO VERIFY POWER REQUIREMENTS FOR OWNER'S EQUIPMENT. MECHANICAL CONTRACTOR TO VERIFY PLUMBING AND HVAC REQUIREMENTS OF OWNER'S EQUIP.
- REFER TO THE MECHANICAL, ELECTRICAL DRAWINGS FOR ADDITIONAL WORK REQUIRED UNDER THIS CONTRACT.
- THE GENERAL CONTRACTOR AND/OR MECHANICAL CONTRACTOR SHALL COORDINATE ALL MECHANICAL WORK WITH THE OWNER'S REPRESENTATIVE AND ALL OTHER TRADES.
- THE GENERAL CONTRACTOR AND/OR ELECTRICAL CONTRACTOR SHALL COORDINATE ALL ELECTRICAL WORK WITH THE OWNER'S REPRESENTATIVE AND ALL OTHER TRADES.
- REFER TO THE STRUCTURAL DESIGN SHEETS FOR DETAILED INFORMATION ON THE STRUCTURAL DESIGN OF BUILDING. THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER ANY STRUCTURAL INFORMATION NOTED ON THE ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN ARCHITECTURAL & STRUCTURAL.
- GENERAL CONTRACTOR SHALL COORDINATE INSTALLATION AND LOCATION OF THE FIRE DEPARTMENT KEY BOX W/ THE ROCHESTER FIRE PREVENTION BUREAU.

DOOR SCHEDULE-COMMON AREA

DOOR NUMBER	DOOR SIZE		THICKNESS	DOOR	TYPE	NOTES
	WIDTH	HEIGHT		MATERIAL		
A1	3'-0"	6'-8"	1 3/8"	STL	SOLID/INSULATED	WEATHERSTRIPPING
A2	3'-0"	6'-8"	1 3/8"	STL	SOLID/INSULATED	WEATHERSTRIPPING
B1	3'-0"	6'-8"	1 3/8"	WD	FLUSH	
C1	DBL 2'-0"	6'-8"	1 3/8"	WD	FLUSH	
C2	DBL 2'-6"	6'-8"	1 3/8"	WD	FLUSH	
OHD	9'-0"	7'-0"	1 3/8"	STL	SOLID/INSULATED	--

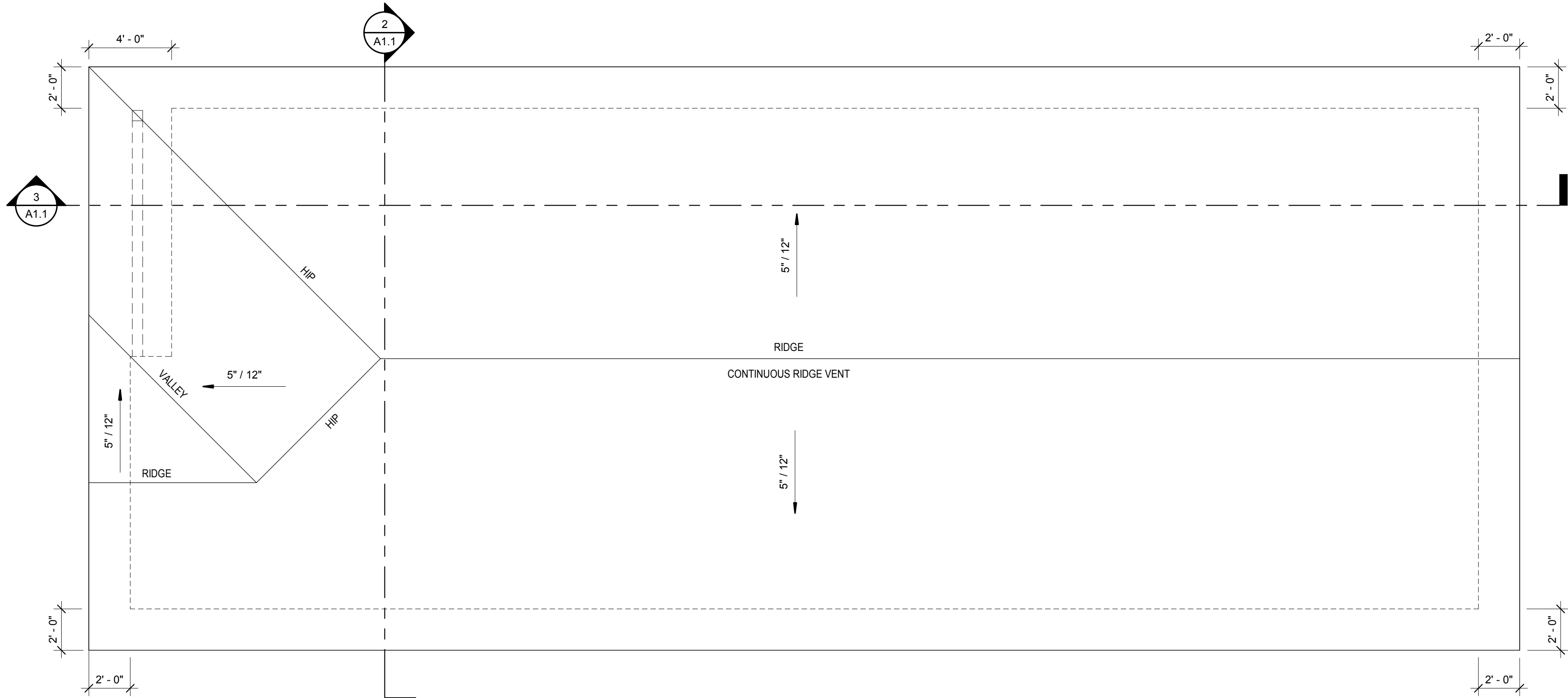
WINDOW SCHEDULE

WINDOW NUMBER	WIDTH	HEIGHT	MATERIAL	OPERATION	GLASS	NOTES & REMARKS
W1	3'-0"	4'-6"	VINYL	CASEMENT	TRIPLE GLAZED	
W2	(2) 3'-0"	4'-6"	VINYL	CASEMENT	TRIPLE GLAZED	
W3	3'-0"	3'-6"	VINYL	CASEMENT	TRIPLE GLAZED	
W4	2'-6"	3'-6"	VINYL	CASEMENT	TRIPLE GLAZED	SAFETY GLAZING
W5	1'-6"	6'-10"	VINYL	FIXED	TRIPLE GLAZED	SIDELIGHT

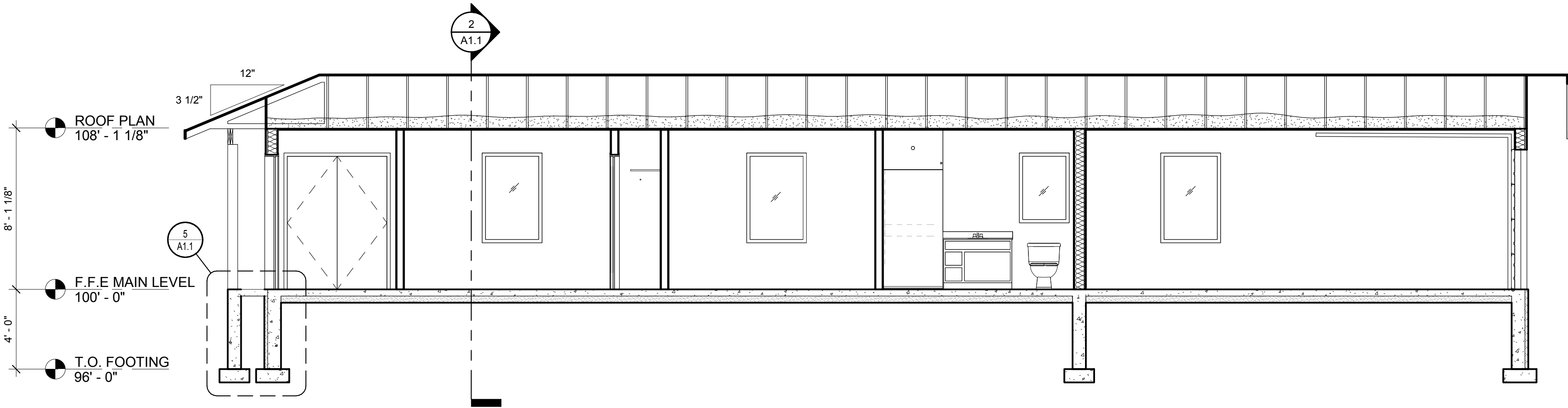
PLAN NOTES:

- FURNITURE SHOWN FOR REFERENCE ONLY - BY OWNER
- WATERTIGHT PAN AND DRAIN UNDER WASHER
- BLOCK OUT WALLS FOR GRAB BARS
- VERIFY HOSE BIB LOCATION(S) WITH OWNER/GC
- ADA
 - COUNTERS TO BE 34" (VERIFY)
 - BATHROOM SINK TO BE HANGING (VERIFY)
 - OUTLETS TO BE AT ACCESSIBLE HEIGHTS
- 5/8" TYPE 'X' GYP. BD. ON CEILING OF GARAGE
- SMOKE ALARM WHERE SHOWN. SHALL BE INTERCONNECTED
- CARBON MONOXIDE ALARM WHERE SHOWN. COMBINATION WITH SMOKE ALARM IS ALLOWED.
- DOOR TO BE SELF CLOSING
- MECHANICAL - GAS FIRED APPLIANCES TO BE ELEVATED 18" ABOVE FINISH FLOOR.
- MECHANICAL FAN WHERE SHOWN. MECHANICAL FAN/VENTING TO MEET MINNESOTA MECHANICAL CODE WHERE REQUIREMENTS FOR WHOLE HOUSE, BATHROOM, KITCHEN, ETC.
- 8'-1" CEILING HEIGHT U.N.O.
- 6'-8" HEADER HEIGHT U.N.O.
- TYP. AT ALL HEADERS - (2) 2x10
- GARAGE DOOR HEADER - (2) 1 3/4" x 9 1/4" MICROLAM LVL
- PORCH HEADER - (3) 2x10
- OPTION TO FRAME IN PLATFORM AT 38-40" A.F.F. FOR TOWEL STORAGE. FRAME WITH 2x4s
- COORDINATE WINDOW LOCATION WITH CABINET DESIGN

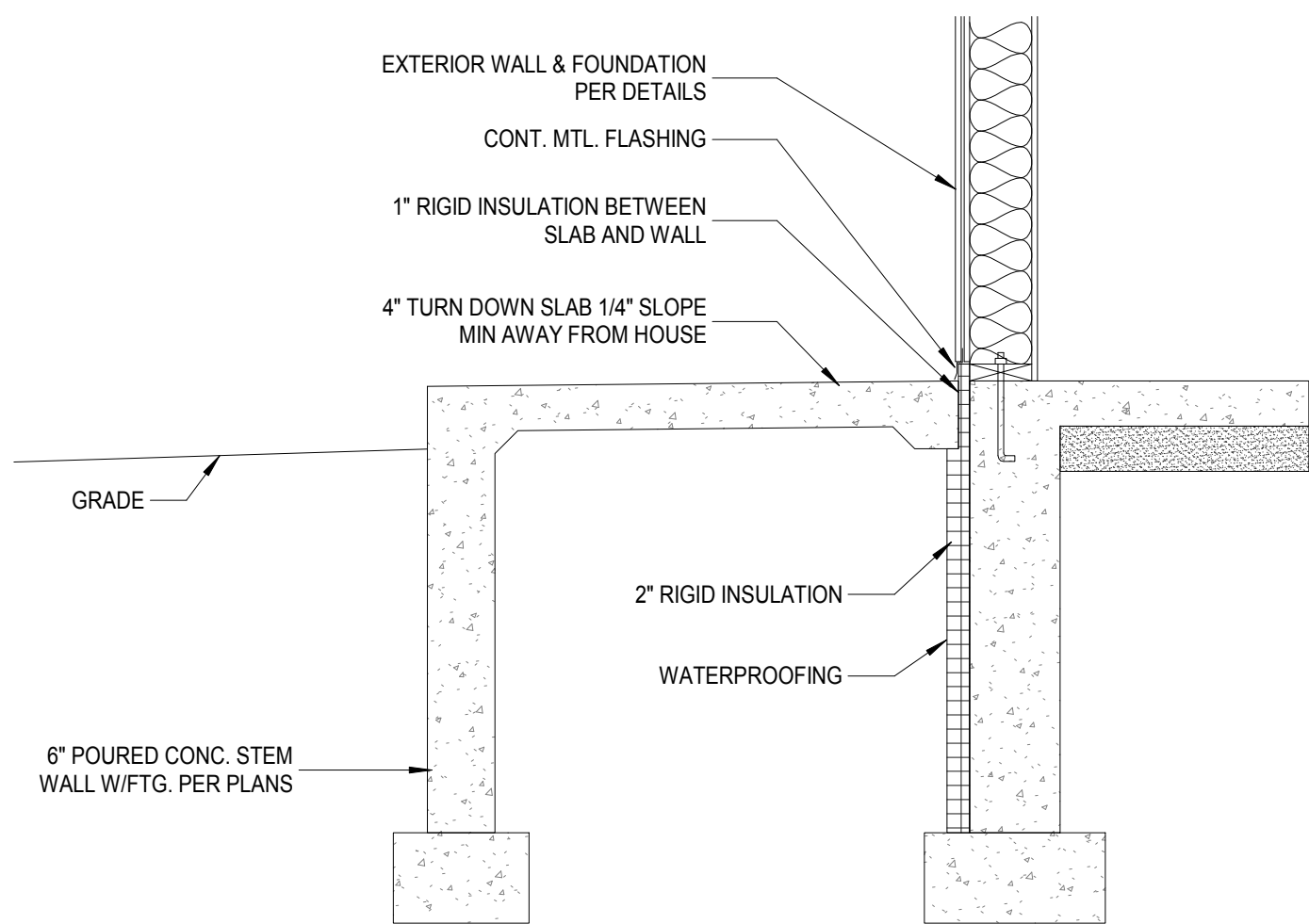
© 2020 CRW architecture + design group



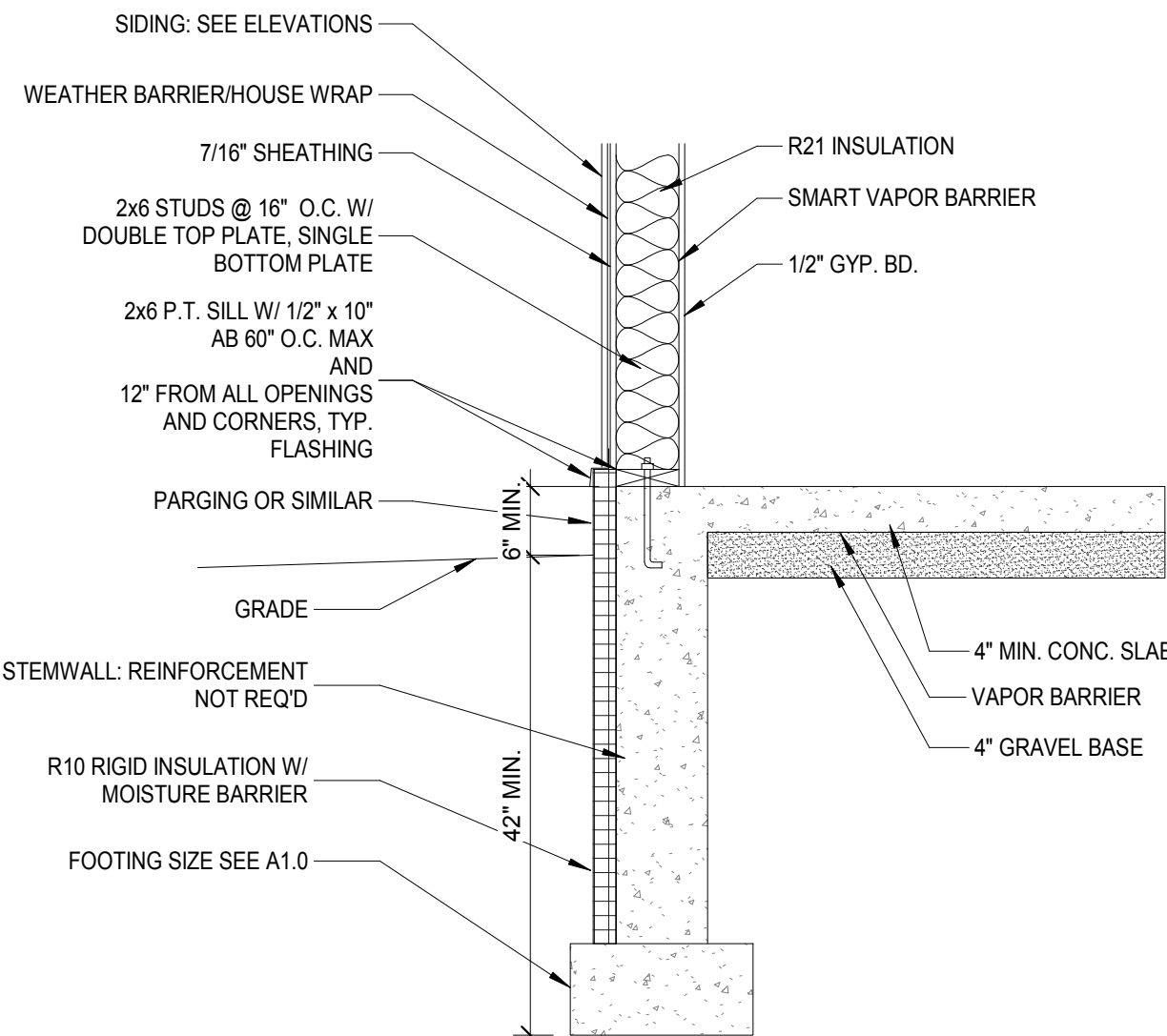
1 ROOF PLAN
1/4" = 1'-0"



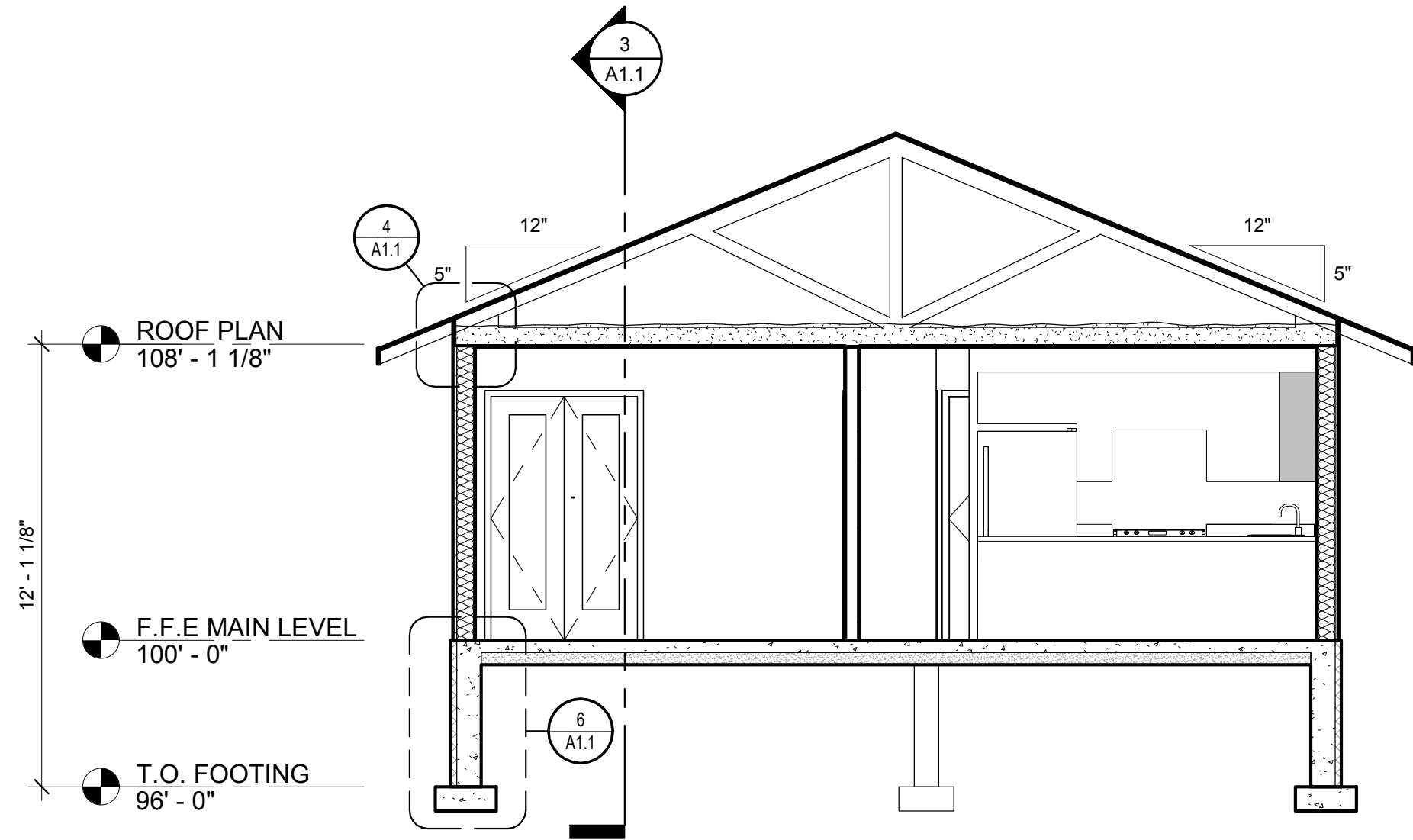
3 BUILDING SECTION E-W
1/4" = 1'-0"



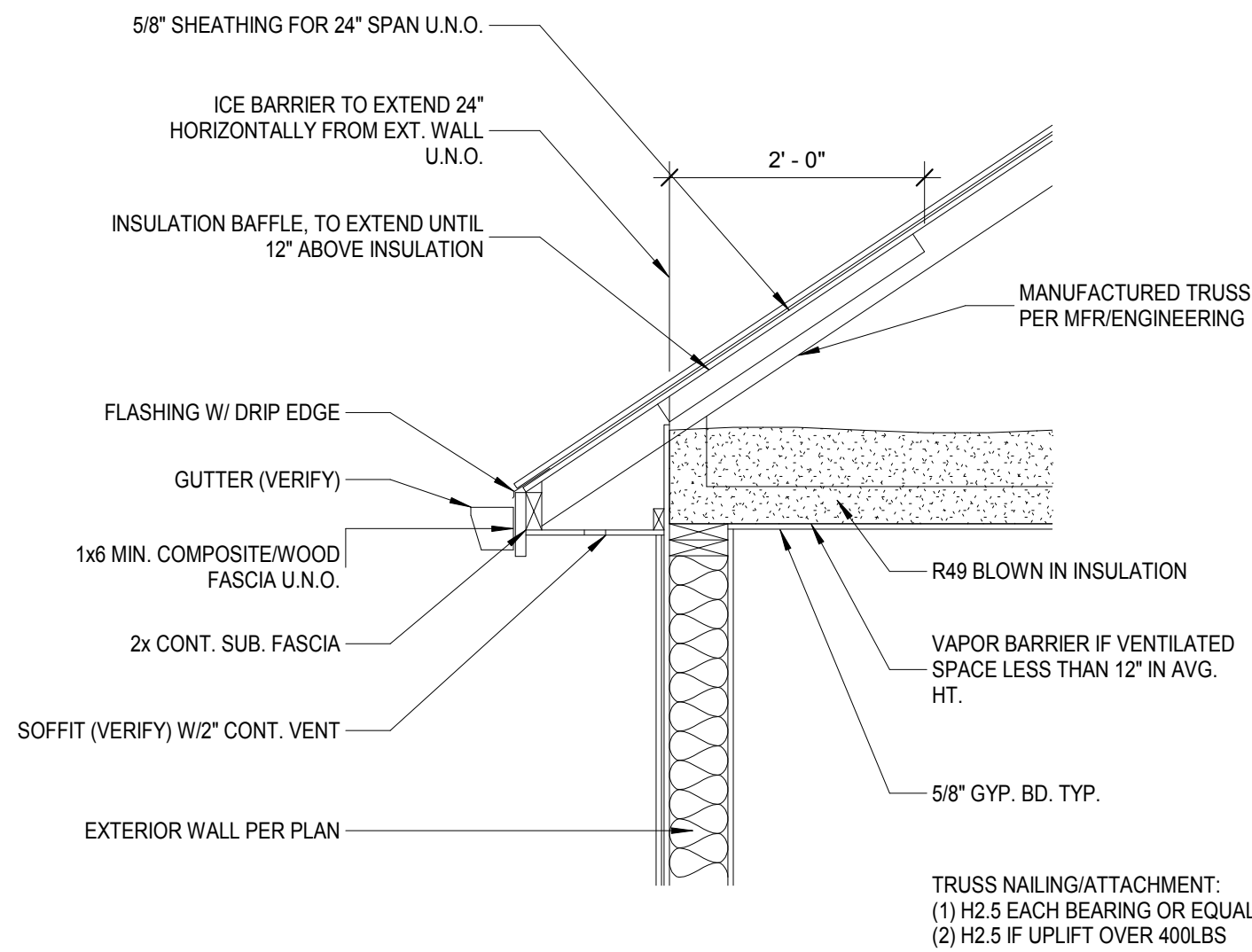
5 PATIO @ SLAB ON GRADE
3/4" = 1'-0"



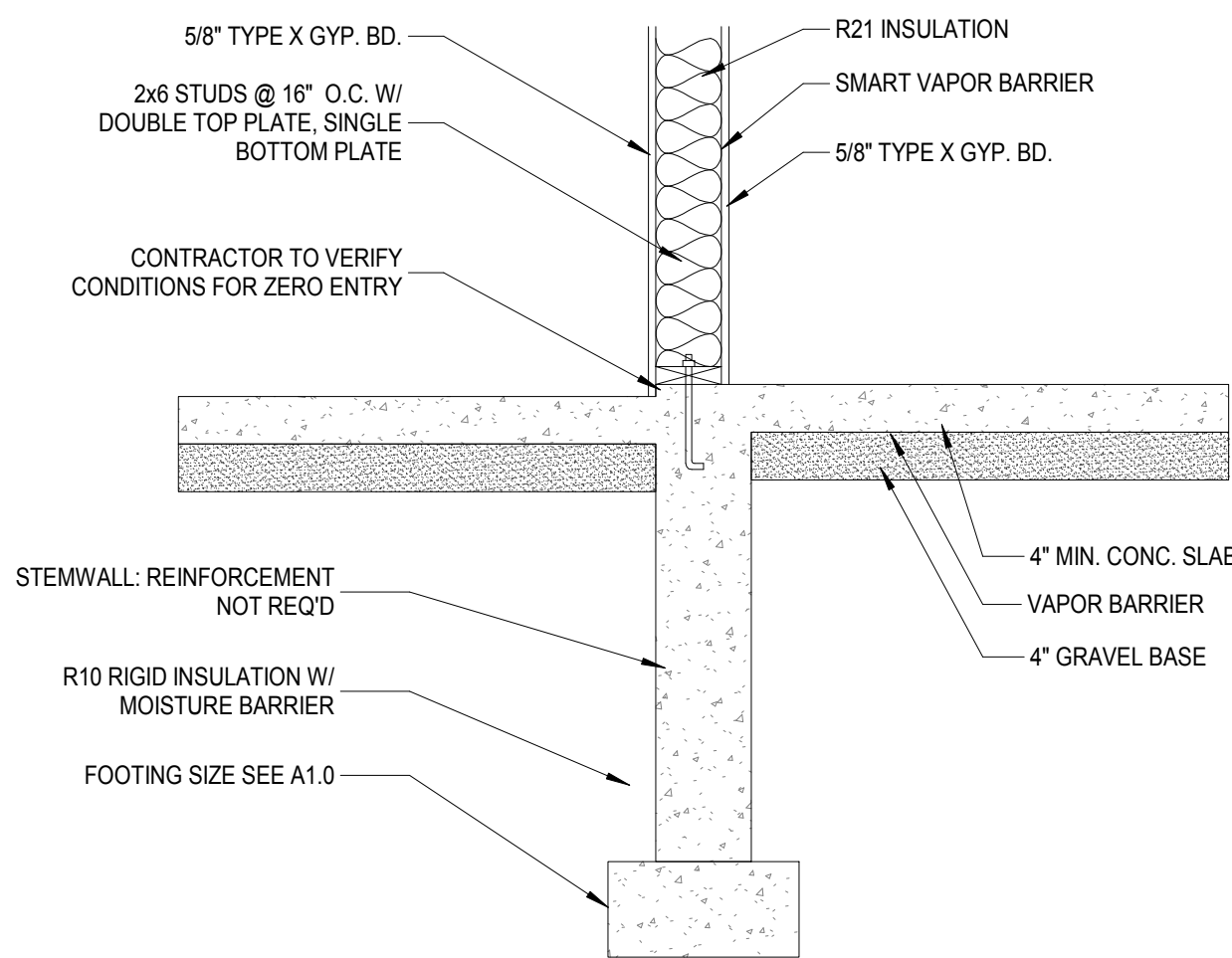
6 SLAB ON GRADE W/ EXTERIOR RIGID INSULATION
3/4" = 1'-0"



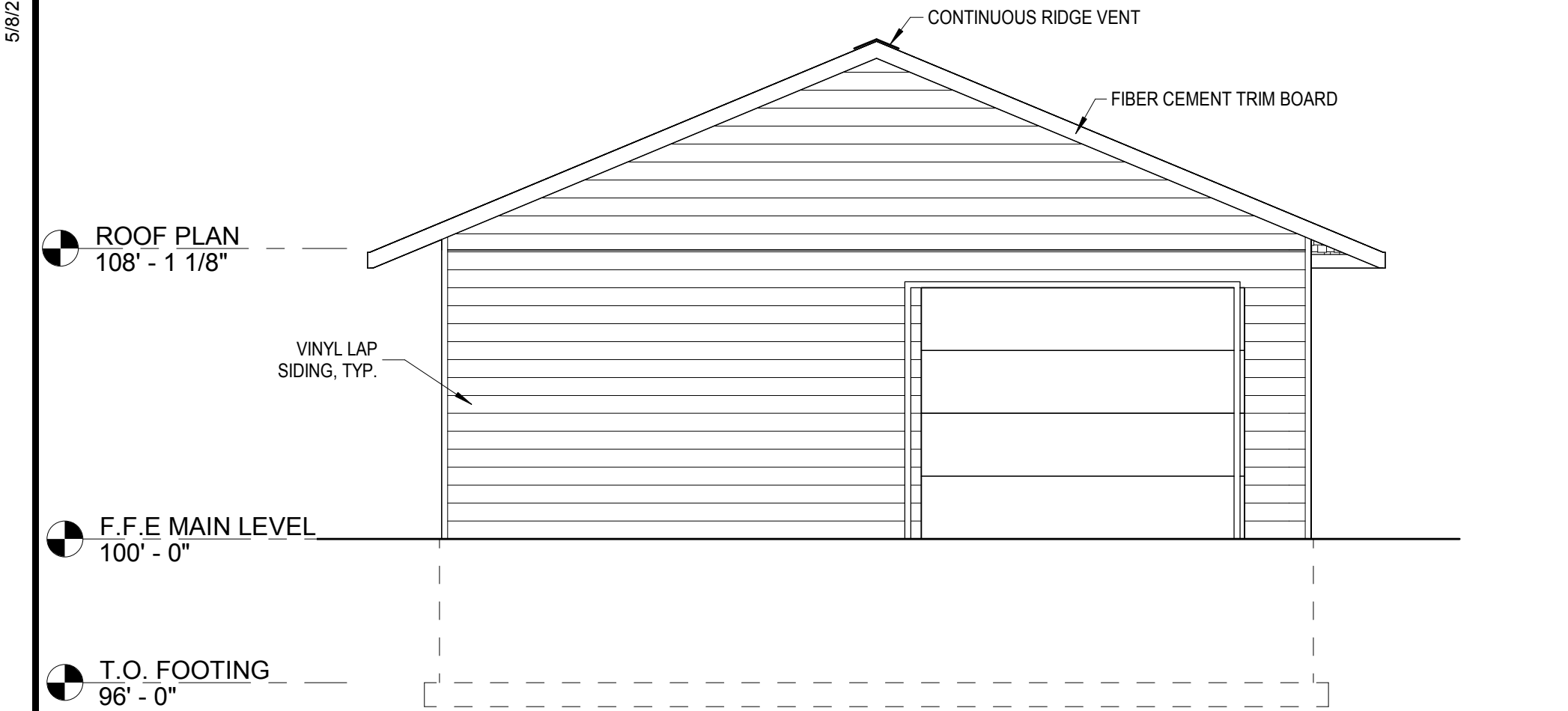
2 BUILDING SECTION N-S
1/4" = 1'-0"



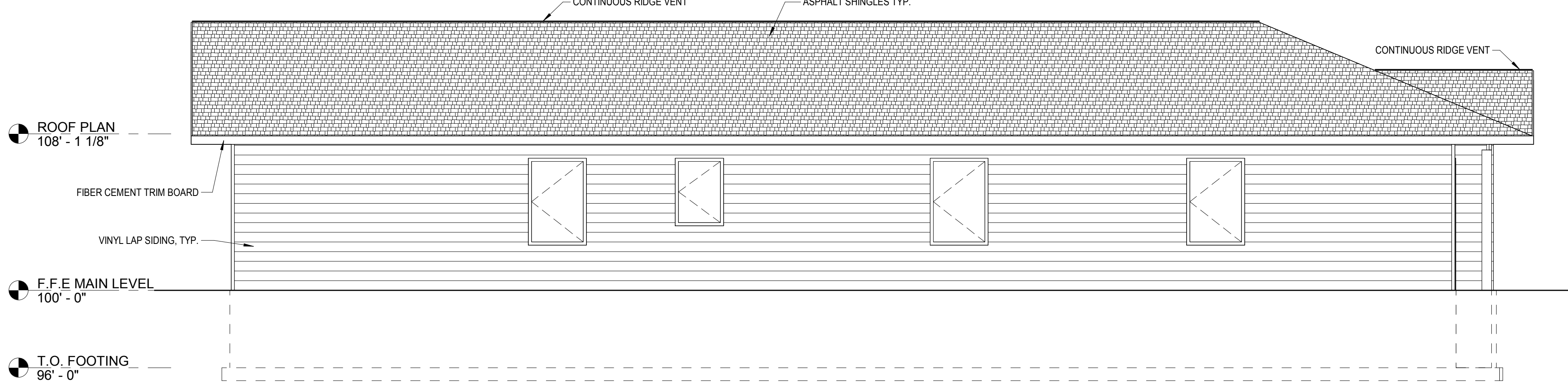
4 ROOF CONNECTION DETAIL
3/4" = 1'-0"



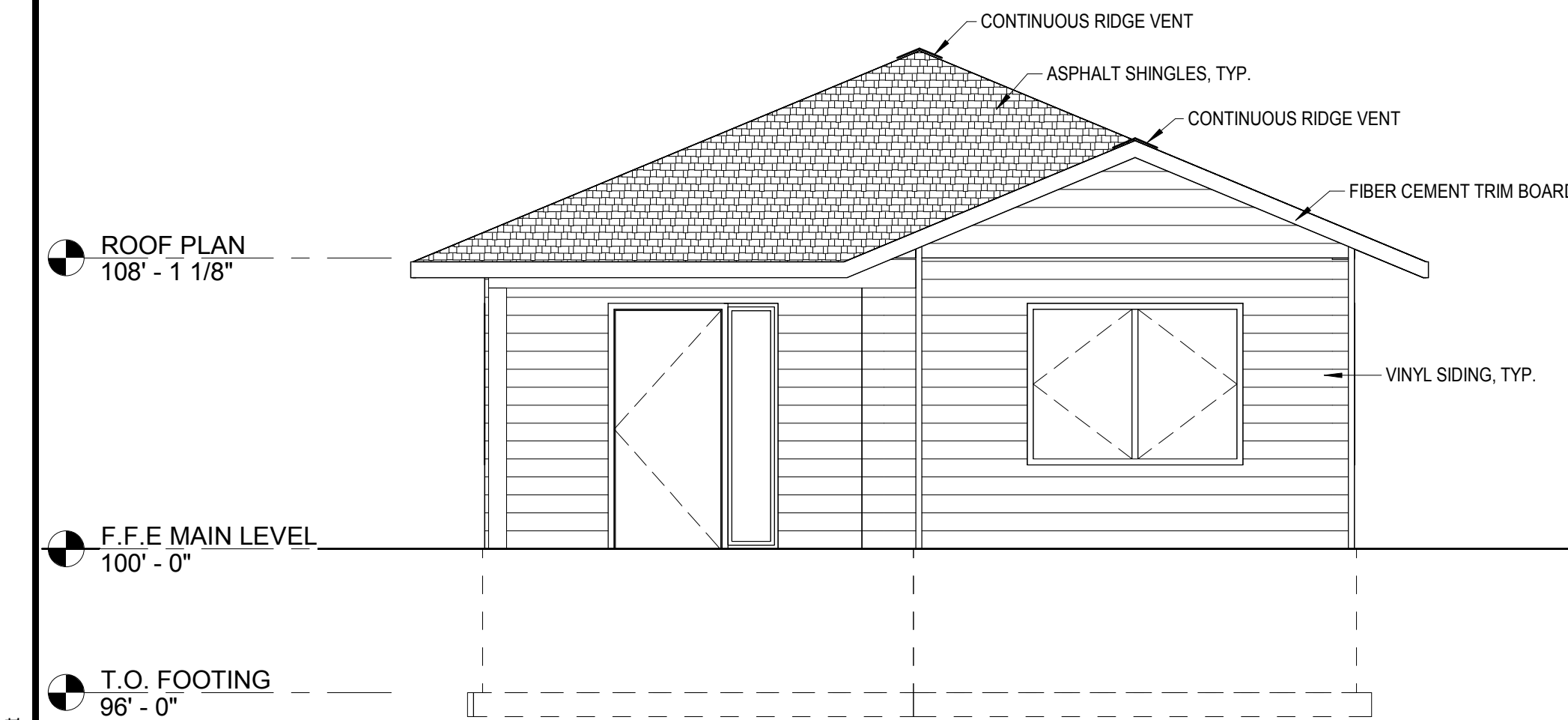
7 SLAB ON GRADE @ STEM FOUNDATION
3/4" = 1'-0"



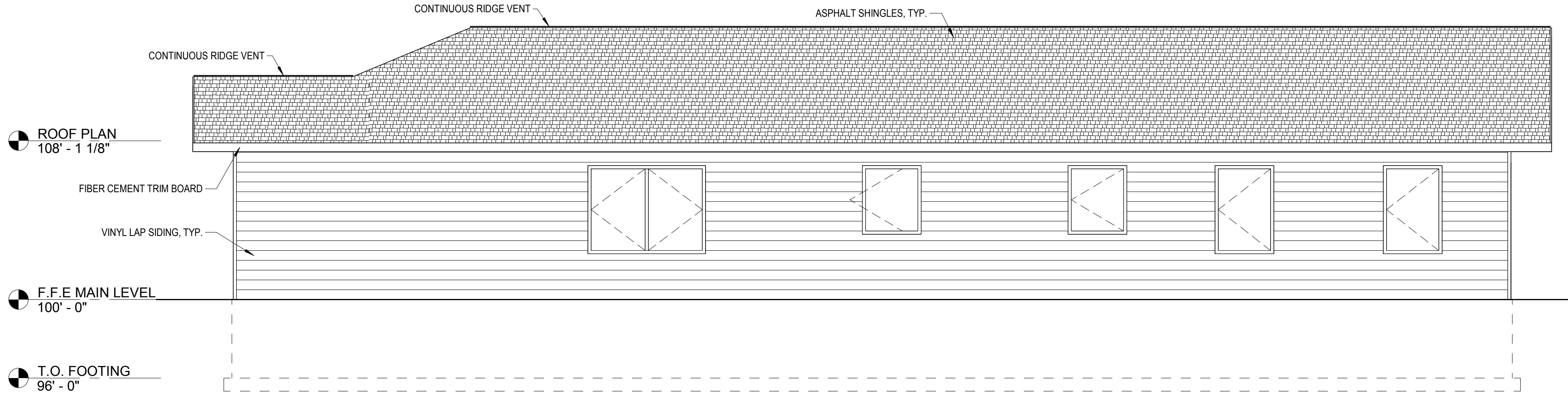
1 NORTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



4 EAST ELEVATION
1/4" = 1'-0"

TWO RIVERS HABITAT FOR
HUMANITY
OWATONNA
MINNESOTA

PROJECT NUMBER	24-009
DATE	05/08/2024
DRAWN BY	Author
CHECKED BY	Checker
ISSUE/REVISION HISTORY	

824 East Vine Street Owatonna, MN 55060

Two Rivers Habitat for Humanity

Project Description: This project aims to construct a single-family home that is energy-efficient, handicap accessible, and resilient in inclement weather. The home will have a zero-entry design, three bedrooms, one bathroom, and an attached one-stall garage.

Project Goals: The goal is to provide affordable housing in line with the mission of Two Rivers Habitat for Humanity. The project also serves as an educational platform for local high school students, providing them with hands-on experience in construction.

Project Leader: Eric Hoyer, the Construction Manager at Two Rivers Habitat for Humanity, will lead the project. Eric has extensive experience in residential construction, project management, and community service.

Project Partners: The local high school's Industrial Arts Program will partner with us on this project, providing students with hands-on experience in construction.

This project is about building a home and enriching our community. By involving local students, we are investing in the future of our community and providing a valuable learning experience for the next generation of builders.

June 6, 2024

To: Planning Commission

From: Greg Kruschke, Community Development Manager

RE: CUP-16 by Kelly Snyder, Wold Architects, on behalf of ISD 761, a request for a 3200 sq ft vehicle storage building on the subject property.

Application Review:

Applicant/Owner	Wold Architects on behalf of ISD 761
Location of Property	333 School Street E
Zoning Map	R-2, Single Family Residential District
Zoning Ordinance	Ordinance 157.040 states that a CUP is needed for additional square footage
Report Attachment	Location map Site plan Building plans Project Narrative

Proposed Development

- CUP-16 by Kelly Snyder, Wold Architects, on behalf of ISD 761, a request for a 3200 sq ft vehicle storage building on the subject property.
- The applicant is proposing to construct a 40' x 80', 3200 square foot garage structure on the property.
- The proposed garage will have 12' tall sidewalls and a pitched, shingled roof. The structure will be sided with fiber cement siding to try and emulate the existing structures on the campus in a cost effective manner.
- The proposed garage will be able to house approximately 12 school district vehicles.
- Access to the site will be provided from the existing driveway and parking area along the north side of the tennis courts.
- The proposed garage will remove existing parking from the site. However, with the change in use and the remaining parking on the property, no additional parking is needed.
- A new fence and gate is being proposed to access this area to maintain security. The fence is discussed in the variance request.
- They currently have a number of ADA stalls shown within this fence structure. It should be noted that these stalls cannot count for the stadium as they will no longer be accessible with the installation of the gate.

- New landscaping will be installed on the west side of the garage structure including 3 trees.
- The applicant will need to amend their existing grading permit and add any additional measures that may be required through that process prior to issuance of a building permit for this structure.

FINDINGS OF FACT

1. The property is zoned R-1, Single Family Residential District.
2. Notice was provided to all property owners within 350 feet of the subject property and published in the Owatonna Peoples Press.
3. That a public hearing was held at the Planning Commission on June 11, 2024
4. The request is not detrimental to or will endanger the public health, safety, morals, comfort, or general welfare of the public.
5. The request is compatible with the surrounding area.
6. The request will not generate additional traffic as the site was more heavily used previously.
7. The request will not require additional public services out of the ordinary.

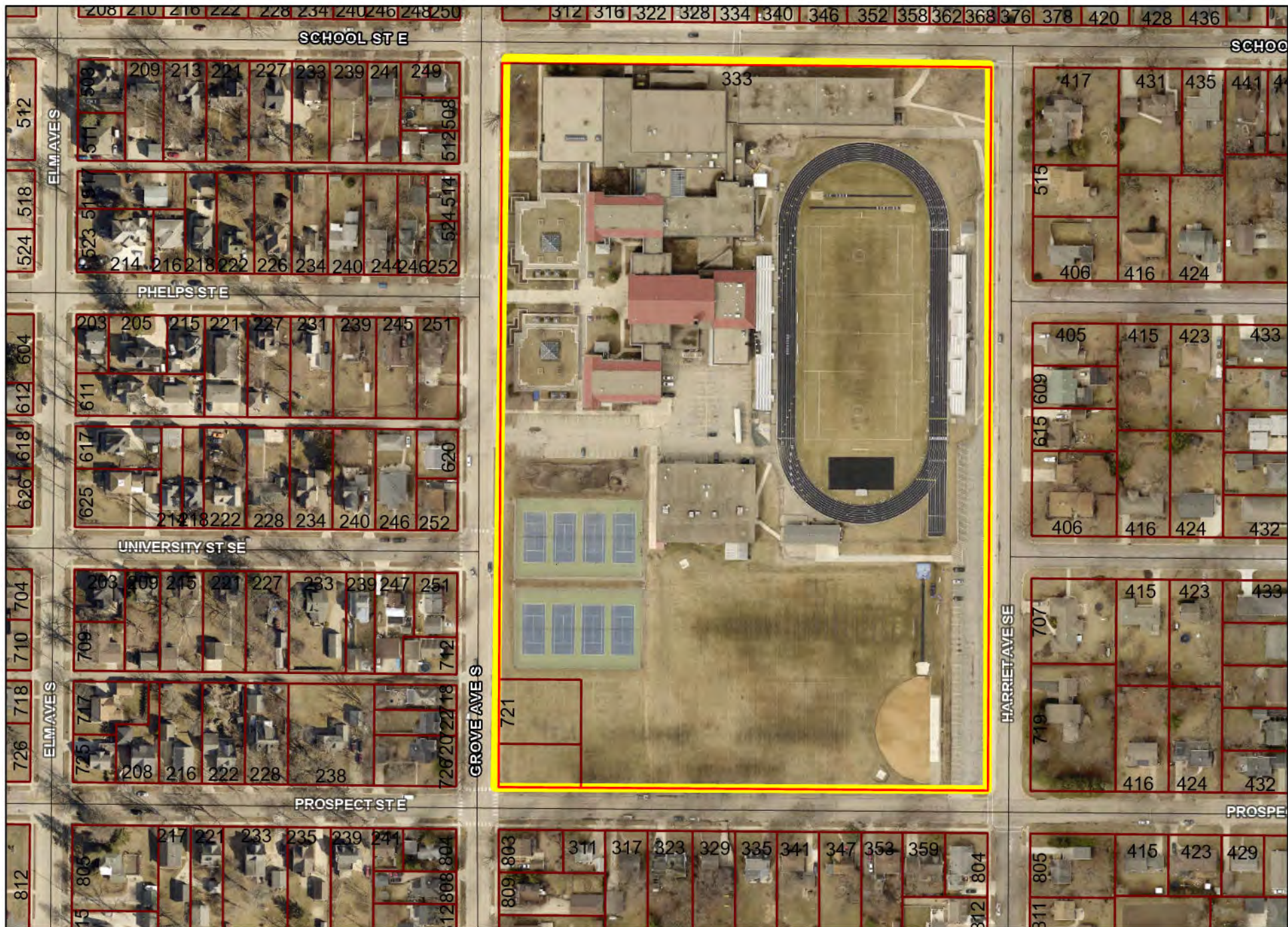
Public Comment

At the time of this staff report, staff has received one phone call inquiring about the request. This citizen wanted to ensure that kids would still be able to use the track, tennis courts, and grass areas.

Staff Recommendation

Staff recommends approval CUP-16 by Kelly Snyder, Wold Architects, on behalf of ISD 761, a request for a 3200 sq ft vehicle storage building on the subject property with the following conditions:

- 1) Proposed fencing shall be in compliance with the action taken on VAR-19.
- 2) No additional structures shall be permitted without a public hearing process.
- 3) A final inspection shall be scheduled with the City once construction is completed.



CUP-16 & VAR-19
333 School Street East

1:2,383

Date: 5/29/2024
Page 34 of 54

District Office parking:
1 stall per 300 sf
@ 48,000 sf = 160 stalls

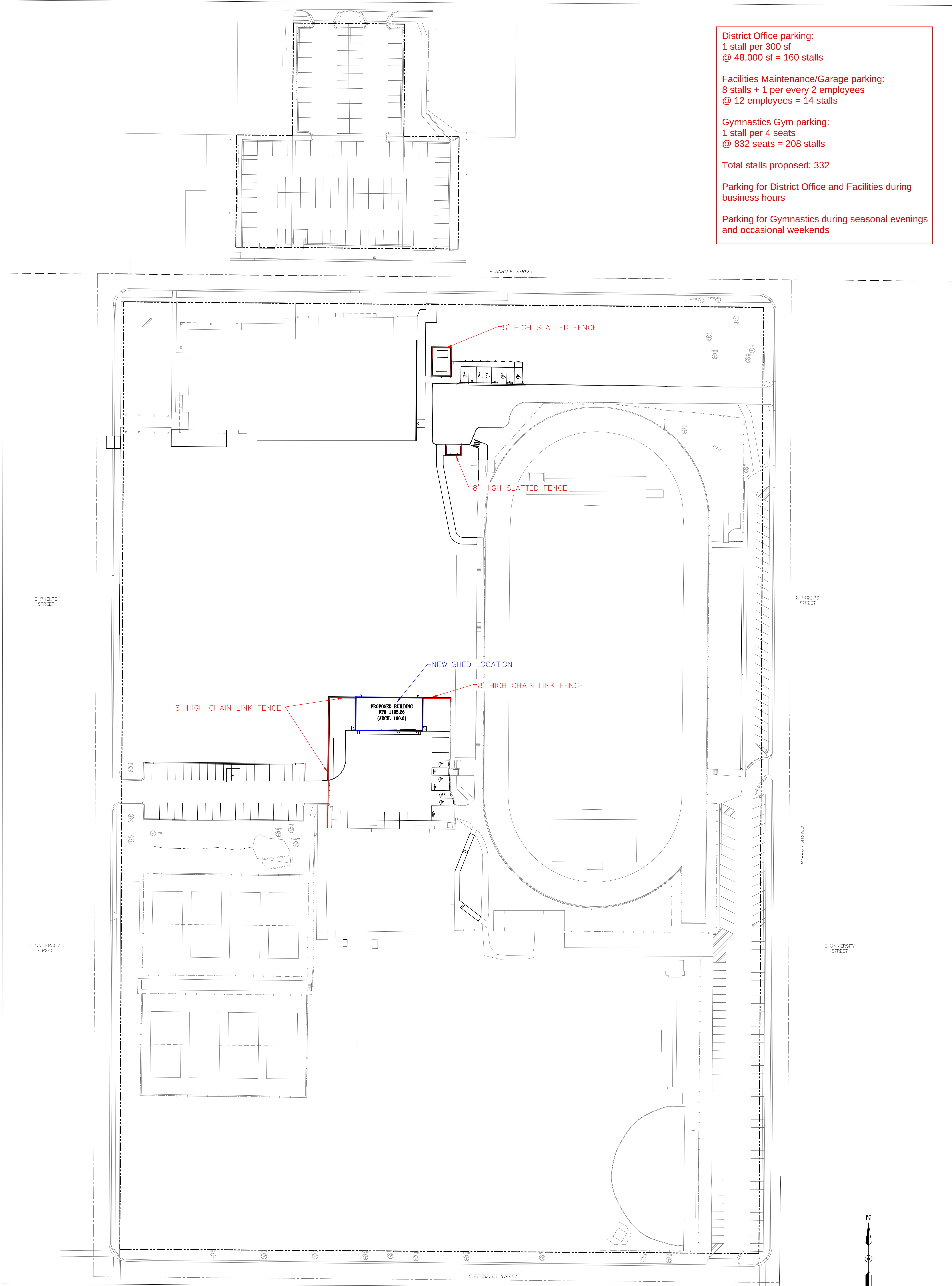
Facilities Maintenance/Garage parking:
8 stalls + 1 per every 2 employees
@ 12 employees = 14 stalls

Gymnastics Gym parking:
1 stall per 4 seats
@ 832 seats = 208 stalls

Total stalls proposed: 332

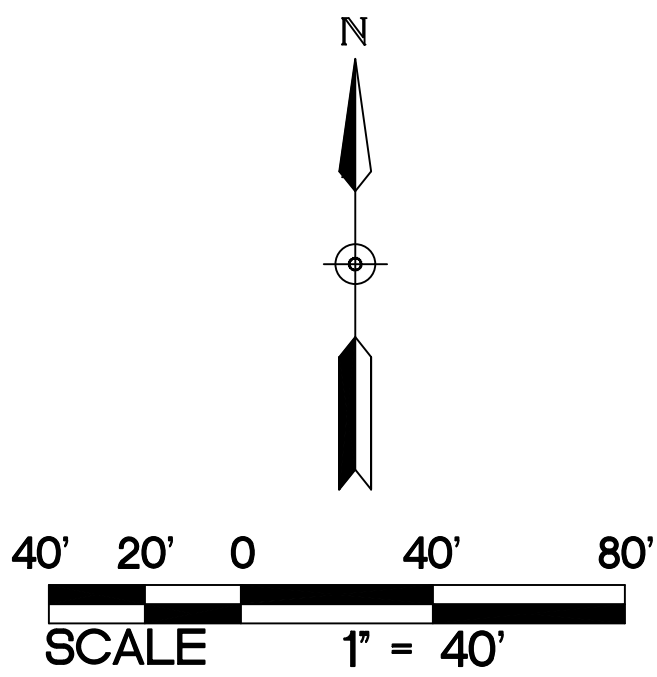
Parking for District Office and Facilities during business hours

Parking for Gymnastics during seasonal evenings and occasional weekends



EXTERIOR PARKING STALL COUNT	
EXISTING PARKING STALLS	365
PROPOSED PARKING STALLS	339
EXISTING ADA STALLS	7
PROPOSED ADA STALLS	9

1 EX. OWATONNA EXISTING HIGH SCHOOL SITE PLAN
1" = 30'



Owatonna Storage Building

333 E. School Street
Owatonna, MN 55060

242040

Independent School
District #761
515 W. Bridge Street
Owatonna, MN 55060

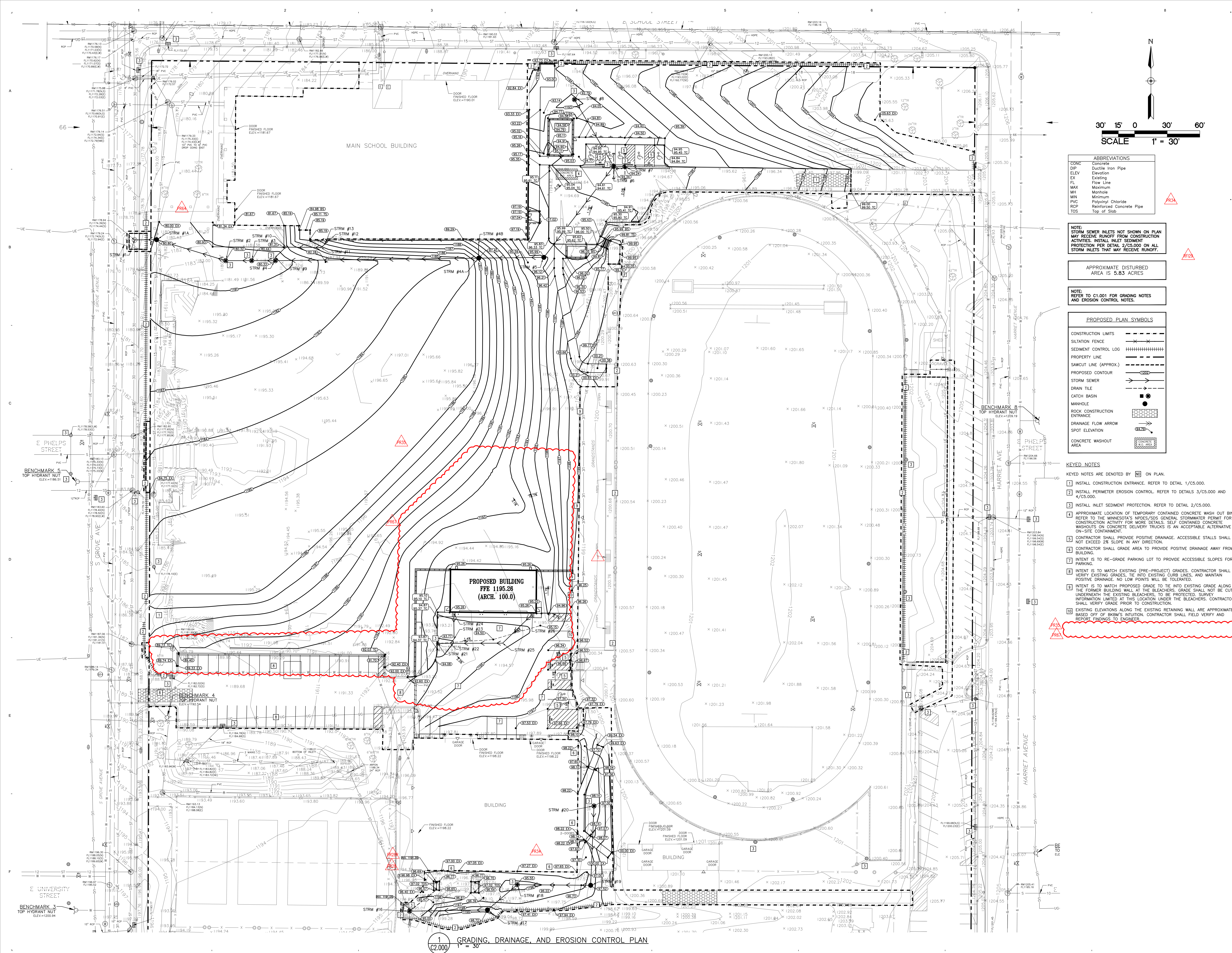


WOLD ARCHITECTS
AND ENGINEERS
332 Minnesota Street, Suite W2000
Saint Paul, MN 55101

woldac.com | 651 227 7773



6120 Earle Brown Dr., Suite 700
Minneapolis, MN 55340
Phone: (763) 843-0420
Fax: (763) 843-0421
www.bkbm.com



ABBREVIATIONS	
COND	Concrete
DIP	Ductile Iron Pipe
ELEV	Elevation
EX	Existing
FL	Flow Line
MAX	Maximum
MH	Manhole
MIN	Minimum
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
TOS	Top of Slab

NOTE:
STORM SEWER INLETS NOT SHOWN ON PLAN
MAY RECEIVE RUNOFF FROM CONSTRUCTION
ACTIVITIES. INSTALL INLET SEDIMENT
PROTECTION PER DETAIL 2/C5.000 ON ALL
STORM INLETS THAT MAY RECEIVE RUNOFF.

APPROXIMATE DISTURBED
AREA IS 5.83 ACRES

NOTE:
REFER TO C1.001 FOR GRADING NOTES
AND EROSION CONTROL NOTES.

PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
SILTATION FENCE	XXXXXX
SEDIMENT CONTROL LOG	
PROPERTY LINE	----
SAWCUT LINE (APPROX.)	----
PROPOSED CONTOUR	1200
STORM SEWER	---
DRAIN TILE	---
CATCH BASIN	□
MANHOLE	○
ROCK CONSTRUCTION ENTRANCE	□
DRAINAGE FLOW ARROW	→
SPOT ELEVATION	1200.00
CONCRETE WASHOUT AREA	□

- KEYED NOTES
- KEYED NOTES ARE DENOTED BY [KEY] ON PLAN.
1. INSTALL CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C5.000.
 2. INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 3/C5.000 AND 4/C5.000.
 3. INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 2/C5.000.
 4. APPROXIMATE LOCATION OF TEMPORARY CONTAINED CONCRETE WASH OUT BIN. REFER TO THE MINNESOTA NPDES/SDS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY FOR MORE DETAILS. SELF CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS IS AN ACCEPTABLE ALTERNATIVE TO ON-SITE CONTAINMENT.
 5. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE. ACCESSIBLE STALLS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
 6. CONTRACTOR SHALL GRADE AREA TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
 7. INTENT IS TO RE-GRADE PARKING LOT TO PROVIDE ACCESSIBLE SLOPES FOR PARKING.
 8. INTENT IS TO MATCH EXISTING (PRE-PROJECT) GRADES. CONTRACTOR SHALL VERIFY EXISTING GRADES, TIE INTO EXISTING CURB LINES, AND MAINTAIN POSITIVE DRAINAGE. NO LOW POINTS WILL BE TOLERATED.
 9. INTENT IS TO MATCH PROPOSED GRADE TO TIE INTO EXISTING GRADE ALONG THE FORMER BUILDING WALL AT THE BLEACHERS. GRADE SHALL NOT BE CUT UNDERNEATH THE EXISTING BLEACHERS, TO BE PROTECTED. SURVEY INFORMATION LIMITED AT THIS LOCATION UNDER THE BLEACHERS. CONTRACTOR SHALL VERIFY GRADE PRIOR TO CONSTRUCTION.
 10. EXISTING ELEVATIONS ALONG THE EXISTING RETAINING WALL ARE APPROXIMATE BASED OFF OF BKBM'S INTUITION. CONTRACTOR SHALL FIELD VERIFY AND REPORT FINDINGS TO ENGINEER.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Kevin A. Bohl

License Number: 52209 Date: May 24, 2024

BKBM Number: 22352.50

Description	Revisions	
	Date	Num

Comm: 222105
Date: MAY 24, 2024
Drawn: WH
Check: SD

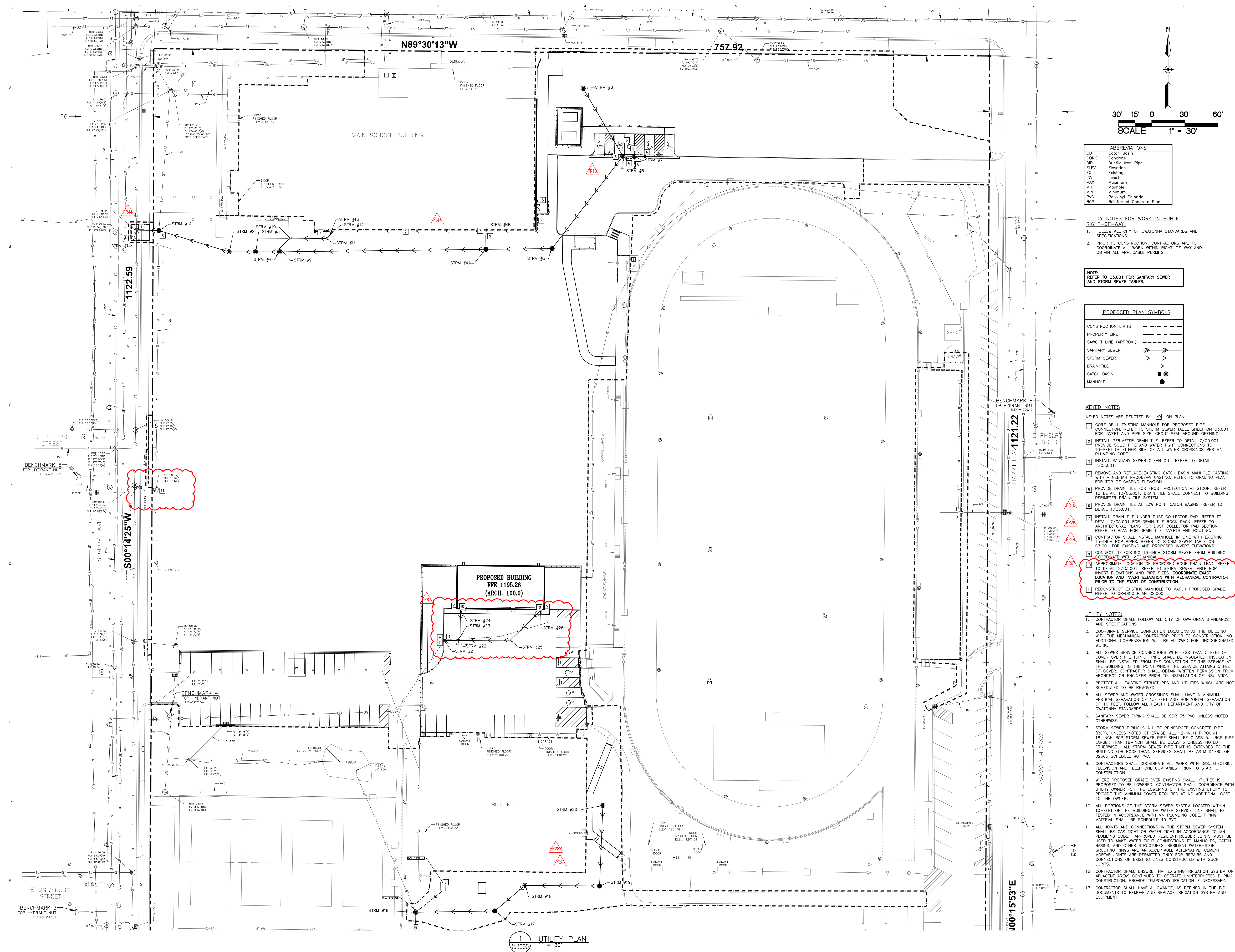
GRADING,
DRAINAGE, AND
EROSION CONTROL
PLAN

C2.000

Wold

BKBM
ENGINEERS

6120 Earle Brown Dr., Suite 700
Minneapolis, MN 55340
Phone: (763) 843-0420
Fax: (763) 843-0421
www.bkbm.com



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Kerin A. Bohn

License Number: **52209** Date **May 24, 2024**
BKBM Number: **22352.50**

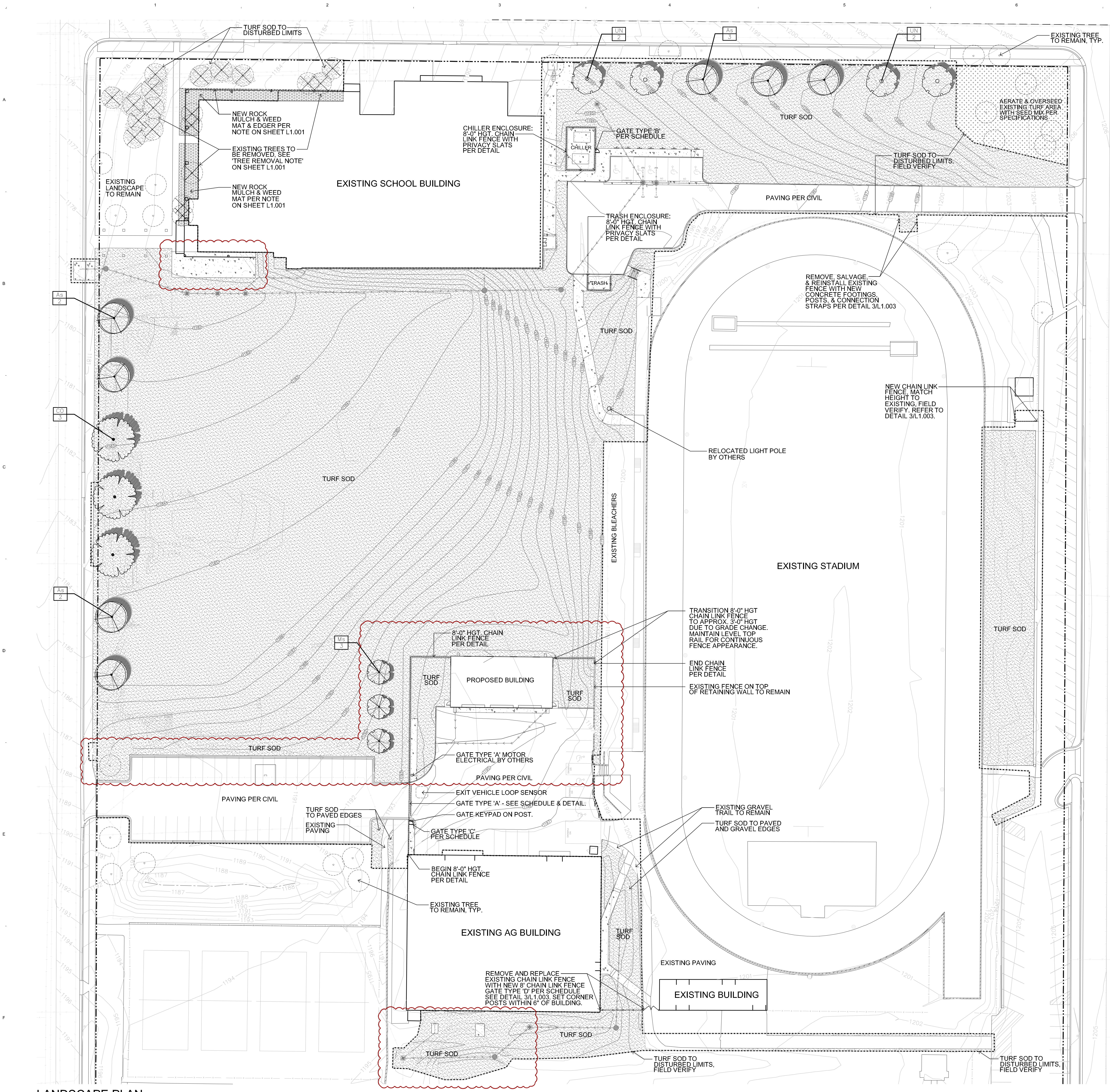
[illegible]

Comm: 222105
Date: MAY 24, 2024
Drawn: WH
Check: SD


North

UTILITY PLAN

C3.000



TREE REMOVAL NOTE:

WHERE INDICATED PER PLAN, THE CONTRACTOR IS REQUIRED TO REMOVE TREES AND THEIR STUMPS, REMOVE DEBRIS AND TWIGS FROM THE SITE. EXERCISE CAUTION DURING WORK AS UTILITIES ARE PRESENT IN THE AREA.

FOLLOWING TREE & STUMP REMOVAL, THE CONTRACTOR SHALL BACKFILL THE HOLES WITH IMPORTED TOPSOIL, COMPACT, AND RESTORE WITH TURF SOD TO THE DISTURBED EXTENTS.

NEW ROCK MULCH AT THE EXISTING SCHOOL BUILDING NOTE:

WHERE NEW ROCK MULCH IS INDICATED PER PLAN, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE EXISTING COMPACTED AGGREGATE AND REPLACING WITH A 4" DEPTH OF ROCK MULCH OVER WEED MAT. WHERE ROCK MULCH AREAS ADJUT TURFED LAWN, USE PERFORATED LANDSCAPE EDGER TO MATCH THE EXISTING LANDSCAPE BED WIDTH.

REFER TO THE LANDSCAPE NOTES & SPECIFICATIONS FOR ROCK MULCH, EDGER, & WEED MAT REQUIREMENTS.

Fence Gate Schedule:

GATE TYPE 'A': SINGLE TRACK 30' WIDE ALUMINUM SLIDE GATE KIT. NO PRIVACY SLATS, 7'-0" HEIGHT GATE, INCLUDE ROLLER GUIDES MOUNTED TO VERTICAL FENCE POSTS AND ROLLER BUMPER STOPS. GATE TO ROLL NORTH. INCLUDE GATE MOTOR, VEHICLE SENSOR, AND KEY PAD. USE RUST-PROOF CONNECTORS AND FITTINGS. SEE SPECIFICATIONS.

GATE TYPE 'B': SINGLE 3' WIDE SWING GATE PANEL, FULL HEIGHT WITH PRIVACY SLATS.

GATE TYPE 'C': SINGLE 3' WIDE SWING GATE PANEL, FULL HEIGHT

GATE TYPE 'D': 6' WIDE SWING GATE PANEL PAIR (12' OPENING), FULL HEIGHT INCLUDING LOCKABLE COLLAR AND CANE PIN SET INTO PAVEMENT.

NOTE: SUBMIT SHOP DRAWINGS FOR ALL GATES, FENCING, HARDWARE, AND PRIVACY SLAT SYSTEMS.

Owatonna Storage Building

333 E School St, Owatonna, MN 55060

242040

INDEPENDENT SCHOOL DISTRICT #761

515 W. Bridge Street Owatonna, MN 55060

Wold

WOLD ARCHITECTS AND ENGINEERS

332 Minnesota Street, Suite W2000
Saint Paul, MN 55101

woldae.com | 651 227 7773

BKBM
ENGINEERS

6120 Eskle Brown Drive, Suite 700
Minneapolis, MN 55430
Phone: (763) 843-0400
Fax: (763) 843-0401
www.bkbm.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Benjamin D. Harberg
License Number: 48084 Date: 05/24/2024

Description	Revisions	
	Date	Num

Comm: 242040
Date: 05/24/2024
Drawn: HL
Check: BH

LANDSCAPE PLAN

L1.001

1. Tree saucer for individual trees outside of a plant bed to be four inches (4") depth Western Red Cedar mulch. Install per tree planting detail. Do not place mulch against tree trunk. Remove wire and burlap from top third of root ball before final soil back-fill and mulch.
2. Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
3. All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified. All deciduous trees are measured at 48" from finished grade to determine tree diameter (DBH). All coniferous trees are measured from finished grade to the top of the central leader. If no central leader is present on coniferous trees, that plant is rejected and must be replaced immediately.
4. Plan takes precedence over plant schedule if discrepancies in quantities exist.
5. All proposed plants shall be located and staked as shown.
6. Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
7. The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
8. All plant materials shall be fertilized upon installation as specified.
9. The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
10. If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.



- 2 TRASH ENCLOSURE SCREEN FENCE DETAIL
1.003 NOT TO SCALE



- 5 NEW SOD TO EXISTING SOD
1.003 NOT TO SCALE



Page 39 of 40



To: Greg Kruschke, City of Owatonna

From: Kelly Snyder | KS

Date: May 22, 2024

Comm. No: 242040

Subject: Independent School District #761
Vehicle Garage Project Narrative

As a result of the construction of the new Owatonna High School, the old high school has been demolished except for a portion of which will now be the Owatonna District Office and Facilities Maintenance Building. Due to the limitations of the Facilities Building, the Owatonna School District plans to provide a new vehicle garage on the property for additional vehicle and equipment storage. This allows the Facilities Building to be used primarily for maintenance, office, and shop purposes while protecting the fleet indoors.

This project will provide indoor parking space for up to 12 vehicles. Its adjacency to the Facilities Building provides easy access to perform maintenance and store the District's vehicles without disturbing the neighborhood. There will be a fence and locked gate to enclose the buildings from the public parking lot on South Grove Avenue. This will ensure that the District's property is secure and protected from vandalism, theft, and other damage. Providing indoor storage for these vehicles also greatly reduces the number of vehicles to store outside in the parking lot where they would be exposed to the elements and at greater risk of damage.

The Storage Building is also set back from the road enough to allow 40 public parking spaces in between the road and the fence. The exterior material will be fiber cement siding, which was also used on the existing Concession Building, creating a visual connection. The colors will be neutral and will complement the existing brick of the adjacent Facilities Building to create a cohesive palette on the site.

Thank you for your consideration.

KA/EDU-MN-ISD761/HS_Owatonna/242040/Admin/Letters/2024.05.22 Memo to Greg Kruschke

June 7, 2024

To: Planning Commission

From: Greg Kruschke, Community Development Manager

RE: VAR-15 by Kelly Snyder, Wold Architects, on behalf of ISD 761, a request for an eight (8) foot tall fence on the property where code only permits a seven (7) foot tall fence on the property.

Application Review:

Applicant/Owner	WOLD Architects on behalf of ISD 761
Location of Property	333 School Street E
Zoning Map	R-1 Single Family Zoning
Zoning Ordinance	Ordinance 157.051(D)(1)(b) states that a fence cannot exceed 7' in height within a Residential Zoning District.
Report Attachment	Location map Aerial photo Site plan Building plan Project Narrative

Proposed Development

- VAR-15 by Kelly Snyder, Wold Architects, on behalf of ISD 761, a request for an eight (8) foot tall fence on the property where code only permits a seven (7) foot tall fence on the property.
- The School District is proposing 3 areas of 8' tall fencing. The fences are all proposed to be 8' tall and contain slats within the chain link.
- The purpose of the fencing is to provide security on the site.
- **The following is from the applicant's application:**
 - o The new storage building project will include a fence which exceeds the 7'-0" height requirement of rear and side yards in residential districts. The new fence will be 8'-0" high chain link to secure the area by deterring trespassers. Since the purpose of the fence is to enclose the storage building, security is of utmost importance.

The placement of the fence and gate will align with the north side of the storage building and tie into existing fencing and walls of the grandstands and facilities building on the east and west. This provides security for all vehicles and equipment stored on site by the school district while maintaining public parking to the west between the fence and S Grove Ave. The distance of the fence to a

public way is about 245'. Given the distance from a public way and the fence's adjacency to buildings, which are larger than the surrounding residential buildings, the additional 1'-0" of height will be in line with the rest of the site and thus will be visually negligible to the public.

- Staff does not feel that there is a difference nor has the applicant proven the difference and need to raise the fence height from 7' to 8'.

FINDINGS OF FACT

1. The property is zoned R-1 Single Family Residential.
2. The variance application was published and notice was provided to property owners within 350 feet of the subject property and published in the Owatonna Peoples Press.
3. A public hearing was held at the Planning Commission on June 11, 2024.
4. The variance is not in harmony with the general purposes and intent of the Ordinance.
5. The request is in general alignment with the Comprehensive Plan
6. The circumstances of the property are entirely caused by the landowner.
7. The variance request does not differentiate in the fencing height to solve the security issue.
8. The variance will alter the essential character of the neighborhood.

Public Comment

At the time of this staff report, no comments have been submitted via written comments, e-mail, or phone.

Staff Recommendation

Staff recommends denial of the variance to allow an 8' tall fence where only a 7' tall fence is permitted. As code permits, the applicant will be permitted to install a fence up to 7' in total height.



CUP-16 & VAR-19
333 School Street East

1:2,383

Date: 5/29/2024
Page 43 of 54

District Office parking:
1 stall per 300 sf
@ 48,000 sf = 160 stalls

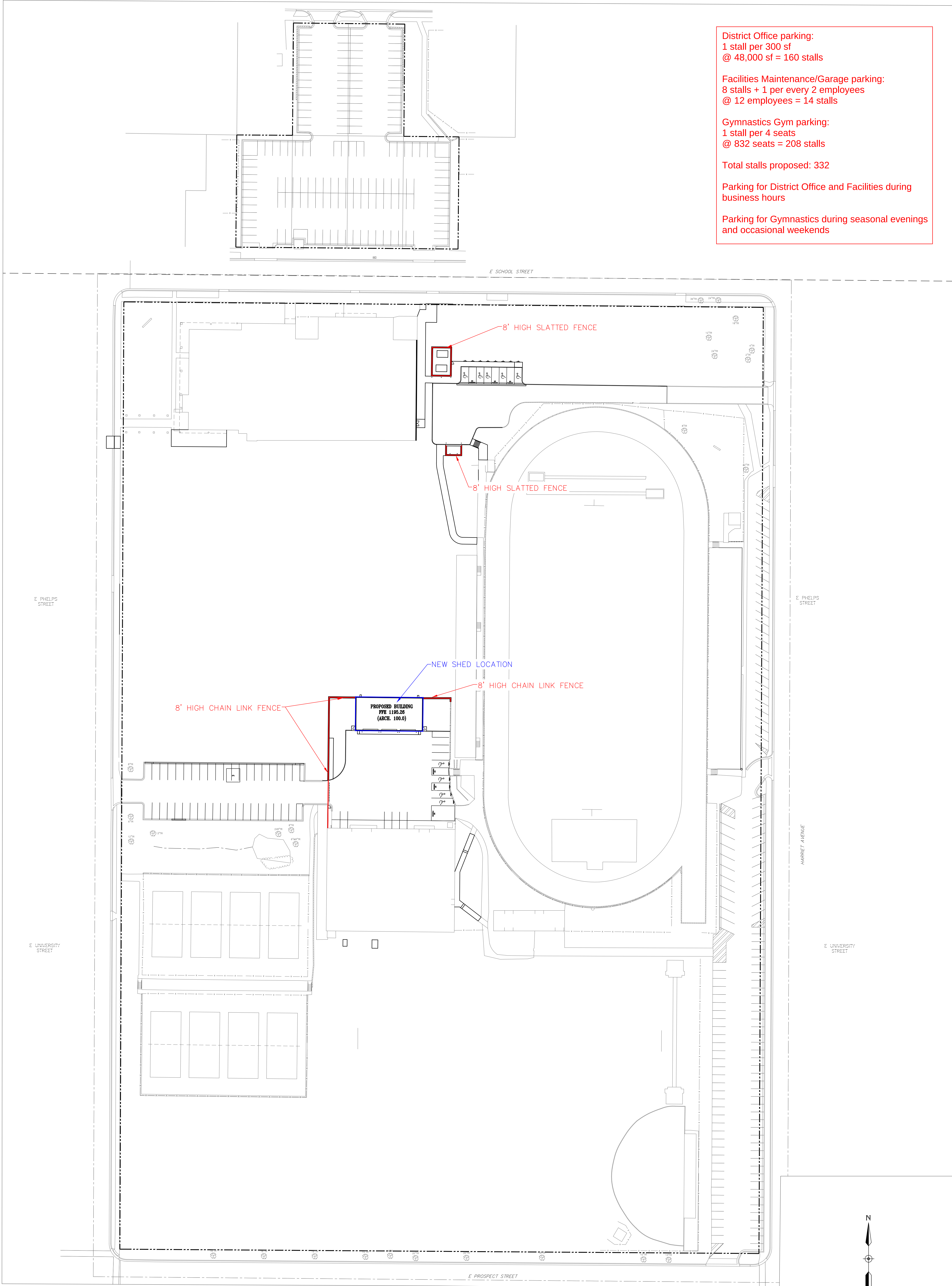
Facilities Maintenance/Garage parking:
8 stalls + 1 per every 2 employees
@ 12 employees = 14 stalls

Gymnastics Gym parking:
1 stall per 4 seats
@ 832 seats = 208 stalls

Total stalls proposed: 332

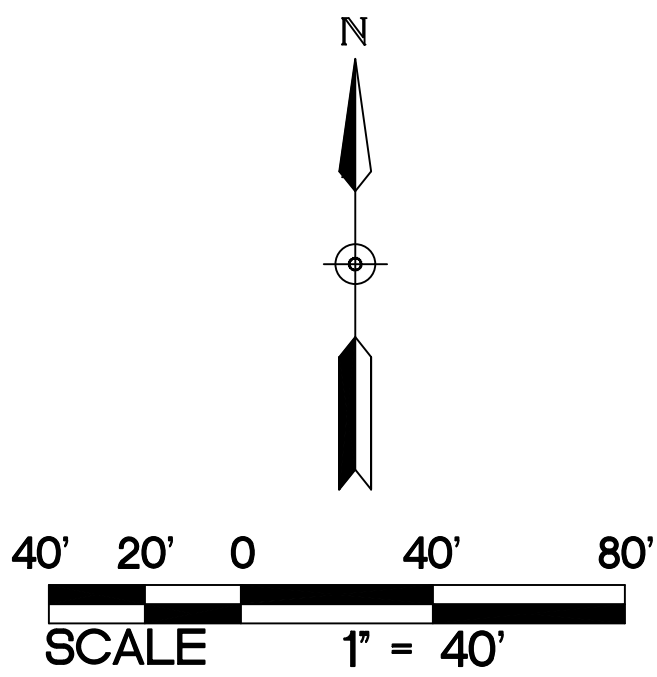
Parking for District Office and Facilities during business hours

Parking for Gymnastics during seasonal evenings and occasional weekends



EXTERIOR PARKING STALL COUNT	
EXISTING PARKING STALLS	365
PROPOSED PARKING STALLS	339
EXISTING ADA STALLS	7
PROPOSED ADA STALLS	9

1 EX. OWATONNA EXISTING HIGH SCHOOL SITE PLAN
1" = 30'





To: Greg Kruschke, City of Owatonna

From: Kelly Snyder | KS

Date: May 22, 2024

Comm. No: 242040

Subject: Independent School District #761
Vehicle Garage Project Narrative

As a result of the construction of the new Owatonna High School, the old high school has been demolished except for a portion of which will now be the Owatonna District Office and Facilities Maintenance Building. Due to the limitations of the Facilities Building, the Owatonna School District plans to provide a new vehicle garage on the property for additional vehicle and equipment storage. This allows the Facilities Building to be used primarily for maintenance, office, and shop purposes while protecting the fleet indoors.

This project will provide indoor parking space for up to 12 vehicles. Its adjacency to the Facilities Building provides easy access to perform maintenance and store the District's vehicles without disturbing the neighborhood. There will be a fence and locked gate to enclose the buildings from the public parking lot on South Grove Avenue. This will ensure that the District's property is secure and protected from vandalism, theft, and other damage. Providing indoor storage for these vehicles also greatly reduces the number of vehicles to store outside in the parking lot where they would be exposed to the elements and at greater risk of damage.

The Storage Building is also set back from the road enough to allow 40 public parking spaces in between the road and the fence. The exterior material will be fiber cement siding, which was also used on the existing Concession Building, creating a visual connection. The colors will be neutral and will complement the existing brick of the adjacent Facilities Building to create a cohesive palette on the site.

Thank you for your consideration.

KA/EDU-MN-ISD761/HS_Owatonna/242040/Admin/Letters/2024.05.22 Memo to Greg Kruschke

June 7, 2024

To: Planning Commission

From: Community Development Department

RE: Final Plat Cashman Addition No. 3

Application Review

PIN: 17-004-1404
Now referred to as “subject property”

Address and Location 285 22nd St NW
22nd Street NW and 3rd Avenue NW to the west

Applicant: City of Owatonna
Now referred to as “applicant”

Owner: City of Owatonna

Existing Zoning: R-1 Single-Family Residential District; request in process to be rezoned to R-6 High Density Residential

Existing Land Use: Vacant

Report Attachments: Location maps
Preliminary plat
Final plat

Previous Planning Commission Action: Planning Commission approved the preliminary plat at the May 14, 2024, regular meeting. City Council approved the preliminary plat at the May 21, 2024, regular meeting.

Background

The City of Owatonna is requesting approval of the final plat of Cashman Addition No. 3, a 0.56± acre, single-lot residential plat. The applicant is proposing residential redevelopment of this parcel. The intent is for the applicant to solicit an RFP for redevelopment, welcoming a range of medium and high-density residential proposals; those allowable uses under the R-6 zoning district. It’s likely a variance/s will be needed to support redevelopment.

Access to the parcel may be off 3rd Ave NW or 22nd St NW. The parcel is serviced through existing water, sewer, and storm sewer located in 3rd Avenue NW.

Proposed Development:

Size of Subdivision: 0.56± acres

Number of Lots: One lot subdivision

Lot Configuration:	Generally rectangular in shape
Street Pattern:	No changes to existing street pattern
Services:	Storm, sewer, and water are located in 3 rd Ave NW. No utility stubs are present on the site
Timing of Development:	The applicant will record the plat after approval to develop the RFP
Outstanding Assessments:	None
Floodplain:	None
Wetlands:	The property does not have any wetlands
Storm Water Drainage:	There will be site alterations as part of the residential redevelopment. Will be reviewed specifically with a grading permit for any new construction.
Easements:	None proposed
County/MNDOT Review:	Not adjacent to a ROW

Context

The subject property is zoned R-1 Single Family Residential. The parcel is currently vacant. The subject property is guided as low density residential on the future land use map.

The subject property is situated next to R-6 high density residential (east and south) and mobile home district (west). Directly to the north is an R-1 single family home.

A rezoning to R-6, High Density Residential is simultaneously occurring.

Access and Streets

Site plan will be reviewed for compliance with zoning ordinance at the time of application.

Utilities

Storm, sewer, and water exist in 3rd Ave NW. No sanitary or water stubs are shown on existing GIS or preliminary plat. Developer will need to go into the street to tap water and sewer lines.

Utility Easement

A ten (10) foot drainage and utility easement run parallel to the right of way on the north and west. A ten (10) foot drainage and utility easement are located on the south side of the lot. A five (5) foot drainage and utility easement are located on the east side of the lot.

Natural Resource Inventory

No wetlands are on this parcel, confirmed by Steele County Soil and Water Conservation District.

Findings of Fact

1. The City of Owatonna initiated a final plat and is referred to as “the applicant” and “the owner”
2. Planning Commission held a public hearing and recommended approval of preliminary plat on May 14, 2024
3. City Council approved the preliminary plat on May 21, 2024
4. That the final plat meets minimum lot sizes in the City of Owatonna zoning code (157.028)
5. That the final plat offers two potential access points to support a range of housing types
6. That the property is adequately served by utilities, with storm, sewer, and water existing in 3rd Ave NW

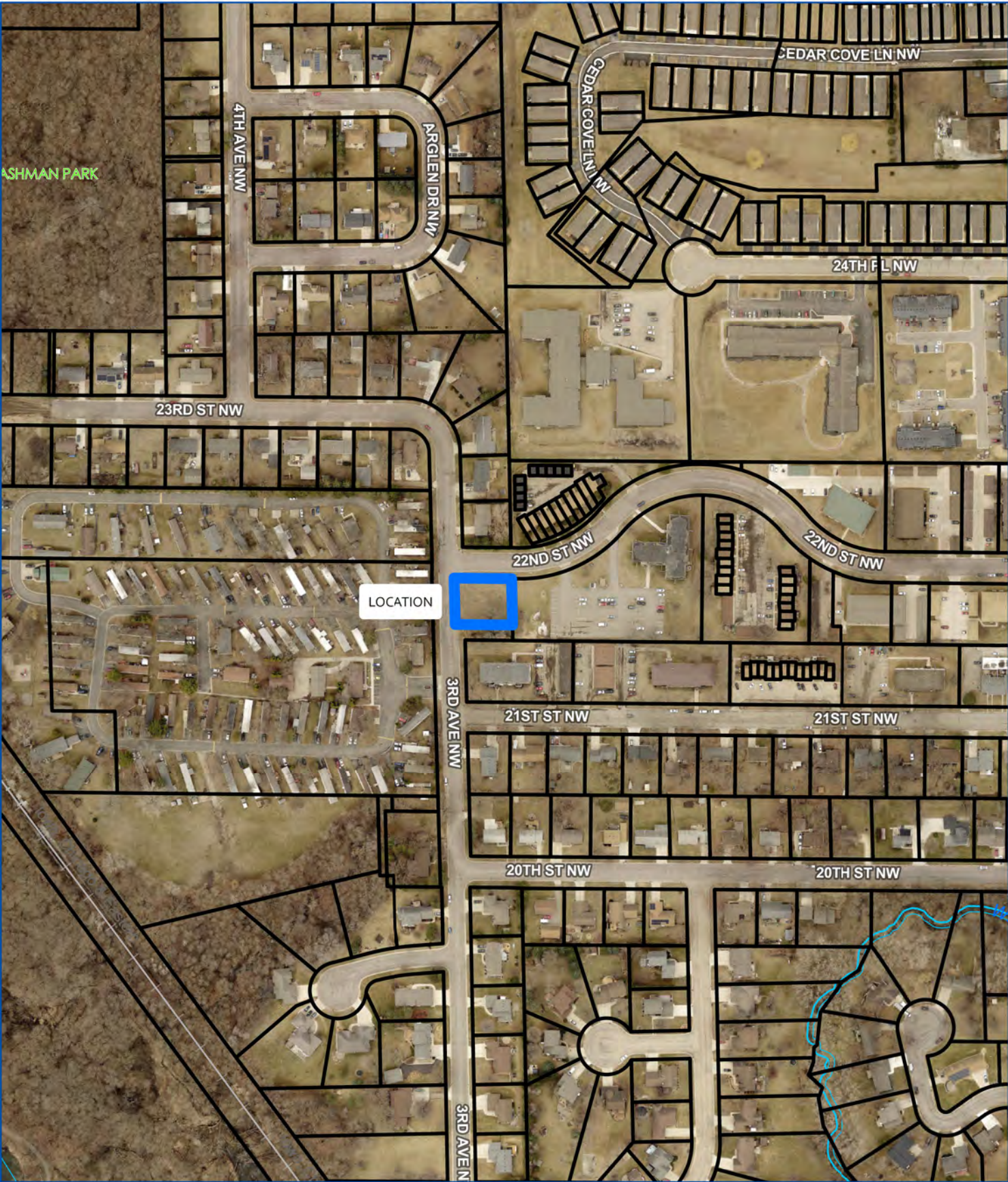
Recommendation

Staff recommends **approval** of the final plat, Cashman Addition No. 3, based on findings of fact and the following conditions:

7. The final plat shall be recorded within 60 days of approval
8. The title opinion shall be approved by the City Attorney prior to recording of the final plat
9. Subject to City Engineer comments before recording

Location Map - 285 22nd Street NW
City of Owatonna

Exb A



This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This information is a compilation of records, information, and data located in various city, county, and state offices and other sources, affecting the area shown, and is to be used for reference purposes only.

April 30, 2024



PRELIMINARY PLAT CASHMAN ADDITION NO. 3
PART OF THE NE1/4 OF THE NE1/4 OF SECTION 4-T107N-R20W
OWATONNA, STEELE COUNTY, MINNESOTA

LEGAL DESCRIPTION

All that part of the Northeast Quarter of Section 4, Township 107 North, Range 20 West described as follows:

Beginning at the southwest corner of the Northeast Quarter of the Northeast Quarter of said Section 4, thence South 10 rods, thence East 9 rods, thence North 10 rods, thence West 9 rods to the point of beginning.

STREET ADDRESS

285 22ND STREET NW
OWATONNA, MN 55060

Zoned: R-1

Single Family Residential

Setbacks:

Front Yard = 30
Side Yard = 10
Rear Yard = 30

AREA

Gross 0.56 ACRES±

PROPOSED LOT AREA
0.31 ACRES±

OWNER

City of Owatonna

PHOTO FROM STEELE COUNTY GIS

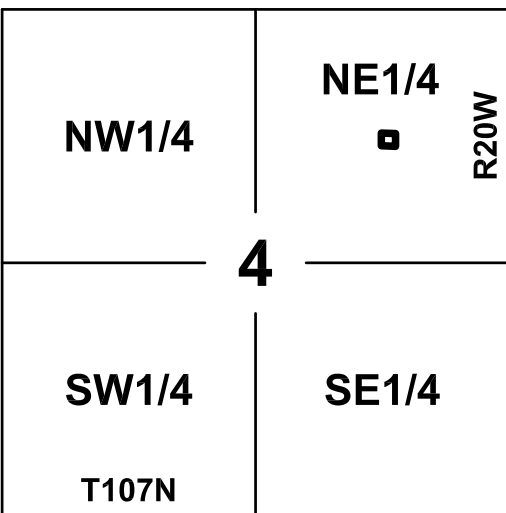


Some site improvements and topography may have been concealed by winter conditions at the time of survey.

LEGEND

- = 5/8 inch X 16 inch iron monument (capped RLS 52646)-Placed
- = Iron monument-Found
- W = Water Main
- S = Sanitary Sewer
- ST = Storm Sewer
- G = Gas Main
- FO = Fiber-Optics
- UE = Underground Electric
- OE = Overhead Electric
- EH = Hand Hole
- EB = Electric Box
- TP = Telephone Pedestal
- CB = Catch Basin
- MS = Manholes & Manhole
- EL = Elevation Contour Line
- CS = Concrete Surface
- BS = Bituminous Surface
- GS = Gravel Surface

VICINITY MAP



Scale: 1"=2000'

BASIS OF BEARING SYSTEM

All bearings are based upon the MnDot Steele County Coordinate system Nad 83 (11) Harn Adjustment Grid

COPYRIGHT
by JONES, HAUGH & SMITH INC.

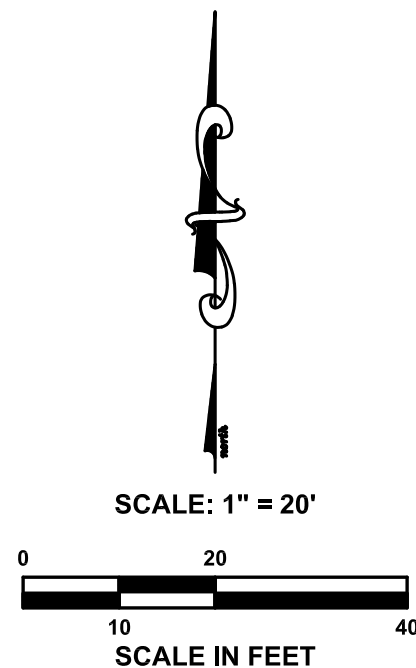
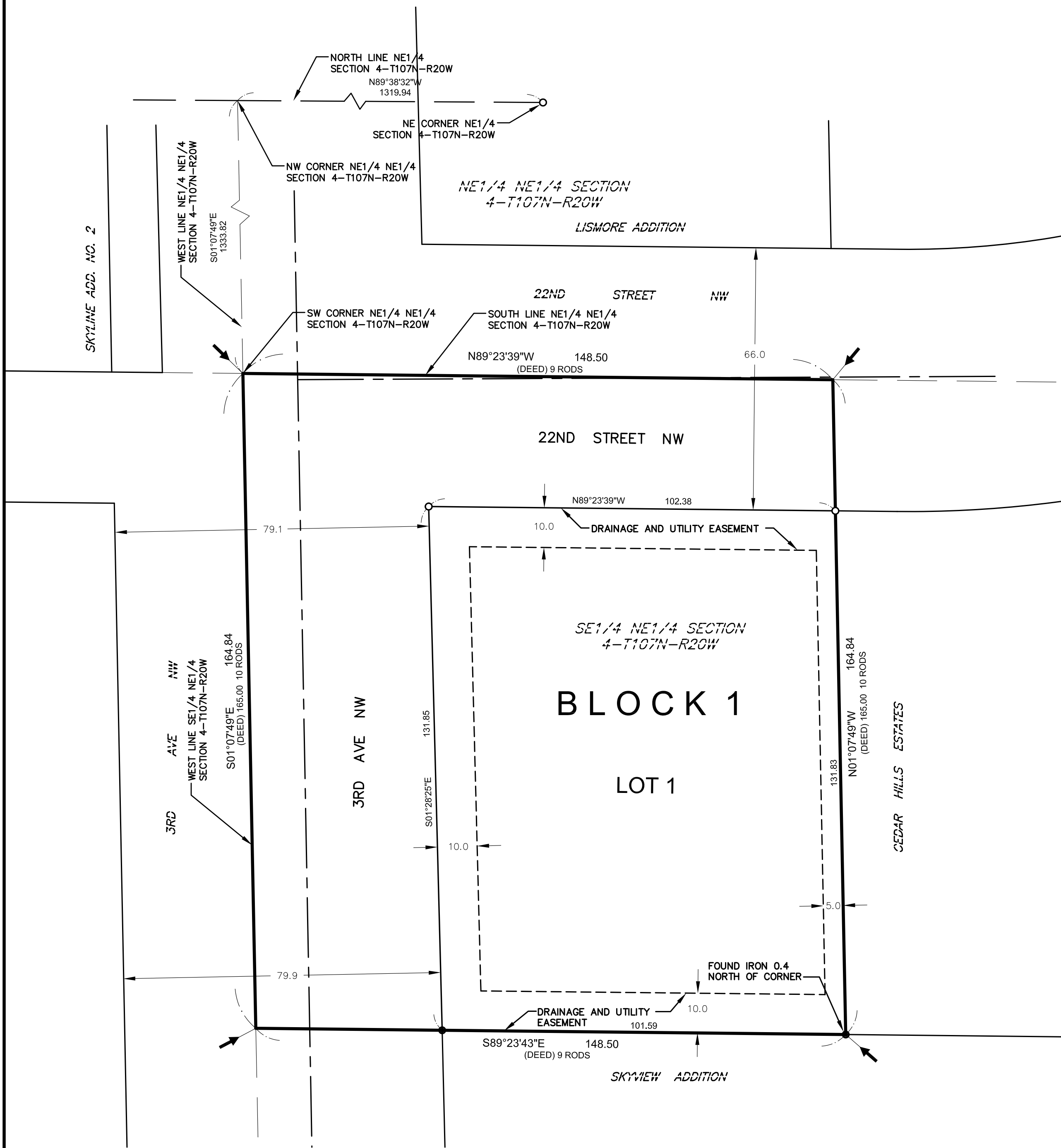
This drawing and format are protected by Copyright and all rights are reserved. The use of this drawing and format is strictly prohibited without the written consent and permission of Jones, Haugh & Smith Inc.

JONES, HAUGH & SMITH INC.

22-1200PP

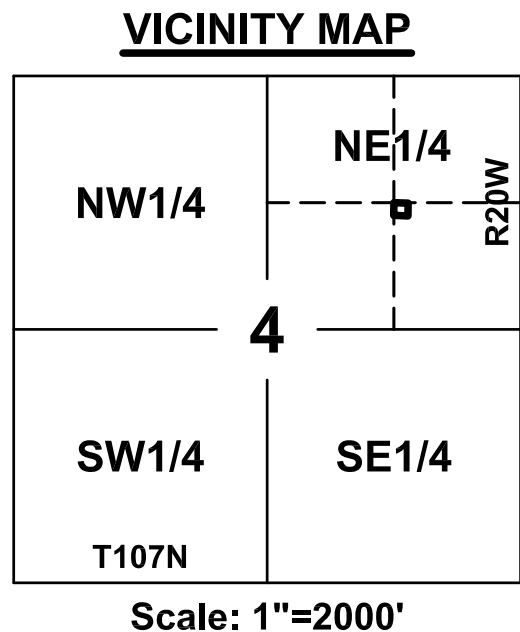
OFFICIAL PLAT

CASHMAN ADDITION NO. 3



BASIS OF BEARING SYSTEM
All bearings are based upon the west line of the SE1/4 NE1/4
Section 4-T107N-R20W, Bearing South 01°07'49" East,

LEGEND
○ = 5/8 inch x 16 inch iron monument
(capped LS 52646)-Placed
● = Iron monument - Found
— = Addition Corner



KNOW ALL PERSONS BY THESE PRESENTS THAT: The City of Owatonna, Minnesota, a Municipal Corporation, owner of the following described property:

All that part of the Northeast Quarter of Section 4, Township 107 North, Range 20 West described as follows:

Beginning at the southwest corner of the Northeast Quarter of the Northeast Quarter of said Section 4, thence South 10 rods, thence East 9 rods, thence North 10 rods, thence West 9 rods to the point of beginning.

Has caused the same to be surveyed and platted as CASHMAN ADDITION NO. 3, and does hereby dedicate to the public for public use the public ways and and utility and access easements as created herewith, as shown on this plat.

In witness whereof said City of Owatonna, Minnesota, a Minnesota Municipal Corporation, has caused these presents to be signed by its proper officer this

_____ day of _____, 20____.

Kris M. Busse, City Administrator

Thomas A. Kuntz, Mayor

STATE OF MINNESOTA

This instrument was acknowledged before me this _____ day of _____, 20____ by Kris M. Busse, City Administrator, City of Owatonna, Minnesota, a Municipal Corporation.

Kristen Kopp, Notary Public, State of Minnesota
My Commission Expires January 31, 2026

STATE OF MINNESOTA

This instrument was acknowledged before me this _____ day of _____, 20____ by Thomas A. Kuntz, Mayor, City of Owatonna, Minnesota, a Municipal Corporation.

Kristen Kopp, Notary Public, State of Minnesota
My Commission Expires January 31, 2026

I, Scott A. Tuchtenhagen, hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a true and correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Scott A. Tuchtenhagen, Licensed Land Surveyor
Minnesota License No. 52646

STATE OF MINNESOTA

This instrument was acknowledged before me this _____ day of _____, 20____ by Scott A. Tuchtenhagen, a licensed land surveyor.

John Henry Schulte, Notary Public, State of Minnesota
My Commission Expires January 31, 2026

This plat of CASHMAN ADDITION NO. 3 was approved and accepted by the City Council of the City of Owatonna, Minnesota at a regular meeting thereof held on the _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03 Subd. 2.1

Kris M. Busse, City Administrator

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20____.

Scott A. Tuchtenhagen, County Surveyor
Steele County, Minnesota

No delinquent taxes and transfer entered this _____ day of _____, 20____.

Jennifer Mueller, Property Tax and Elections Director
Steele County, Minnesota

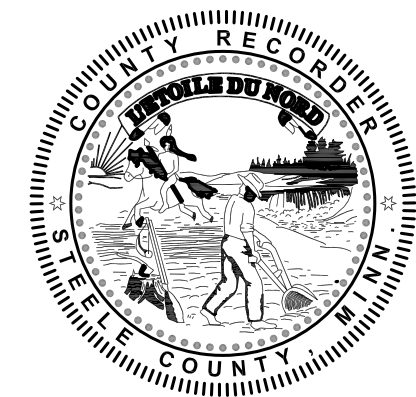
I hereby certify that taxes payable for the year 20____ on the land hereinbefore described have been paid this _____ day of _____, 20____.

Candi Lemarr, Finance Director
Steele County, Minnesota

Filed in the Office of the County Recorder this _____ day of _____, 20____, at _____ O'clock _____ M., in Book _____ of

Plats, Page _____, as Document Number _____

Rick G. Kvien, County Recorder
Steele County, Minnesota



JONES HAUGH & SMITH, INC.
PROFESSIONAL ENGINEERS & LAND SURVEYORS

COMPARISON REPORT OF BUILDING DONE IN CITY OF OWATONNA IN YEARS 2023 AND 2024															Ken Beck, Building Official		
	DWELLINGS		ACCESSORY		COMMERCIAL		INDUSTRIAL		ADD. & ALT.		DUPLEX/APTS		DEMO	TOTAL			
Month	NO.	VALUE	NO.	VALUE	NO.	VALUE	NO.	VALUE	NO.	VALUE	NO.	VALUE	NO.	NO.	VALUE		
Jan '23	0	0	5	16,600	8	443,880	7	5,117,850	66	494,614	0	0	0	86	6,072,944		
Jan '24	0	0	2	6,500	33	7,806,205		** see below	95	763,150	0	0	0	130	8,575,855		
Feb '23	0	0	8	24,850	22	1,113,838.30	11	25,861,730.75	136	834,982.70	0	0	0	177	27,835,401.75		
Feb '24	2	700,000	4	7,500	52	8,218,972.00			198	1,725,152.62	0	0	0	256	10,651,624.62		
Mar '23	1	200,000	17	44,100	42	2,497,648	20	26,251,710	243	\$ 7,323,261.26	0	0	0	323	\$ 36,316,719.26		
Mar '24	3	940,000	5	8,250	75	10,847,903			289	\$ 2,612,593.78				372	\$ 14,408,746.78		
Apr '23	4	1,968,586	26	96,900	74	31,047,283		**see below	329	8,699,343.89	0	0	1	434	41,812,112.89		
Apr '24	3	940,000	19	81,750	107	44,321,109			446	\$ 3,981,714.59	0	0	0	575	\$49,324,573.59		
May '23	4	1,968,586	37	132,400	94	36,206,219.51		**see below	463	11,204,959.76			1	599	49,512,165.27		
May '24	3	940,000	38	235,738	125	46,373,553.00			586	5,141,328.01				752	52,690,619.00		
Jun '23	4	1,968,586	52	189,068.67	113	45,164,773.51		**see below	594	12,314,075.39	0	0	8	771	59,636,503.57		
Jun '24																	
Jul '23	5	2,168,586	69	242,168.67	132	46,905,945.51			714	13,185,484.99	2	400,000	8	930	62,902,185.17		
Jul '24																	
Aug '23	6	2,568,586	75	257,168.67	162	51,045,367.26			847	14,208,880.97	4	12,400,000	9	1,103	80,480,004		
Aug '24																	
Sep '23	9	3,587,126	83	333,668.67	197	64,081,192.67			990	15,576,116.82	4	12,400,000	9	1,292	95,978,104.16		
Sep '24																	
Oct '23	16	6,739,916	94	382,984.89	217	66,611,382.67			1,153	17,005,042.02	4	12,400,000	10	1,494	103,139,325.55		
Oct '24																	
Nov '23	21	8,119,916	101	424,984.89	235	69,172,169.67			1,281	17,958,715.07	4	12,400,000	13	1,655	108,075,785.63		
Nov '24																	
Dec '23	21	8,119,916	106	430,584.89	252	71,144,770.64			1,365	18,435,507.88	4	12,400,000	13	1,761	110,530,779.41		
Dec '24																	

**Starting April 2023, Commerical and Industrial are combined

Owatonna Building Inspection Department Comparison Report- Construction to Date 2023/2024

Construction Report for Permits Issued through May, 2024

TYPE OF WORK	2023 PERMITS ISSUED	PERMITS ISSUED FOR CONSTRUCTION COST	Units	2024 PERMITS ISSUED	PERMITS ISSUED FOR CONSTRUCTION COST	Units
NEW DWELLINGS	4	1,968,586	0	3	940,000	
ACCESSORY BUILDINGS (INCLUDES GARAGES, UTIL. BLDGS, SW. POOLS, ETC.)	37	132,400.00		38	235,738.00	
COMMERCIAL AND INDUSTRIAL PERMITS	94	36,206,219.51		125	46,373,553.00	
RESIDENTIAL ADD. & ALT.	463	11,204,959.76		586	5,141,328.01	
DUPLEXES & APTS. (INCLUDES ATTACHED SF)	0	0	0	0	0	0
DEMOLITION PERMITS	1	0		0	0	
TOTAL PERMITS ISSUED	599	49,512,165	0	752	52,690,619	0

Large Permits in May:

SCFF Saloon – \$750,000
(1504 Fairgrounds Drive SE)