



PLANNING COMMISSION MEETING
Tuesday, December 10, 2024 at 5:30 PM
Council Chambers, City Hall at 540 West Hills Circle
Roll Call: Meier, Springer-Gasner, Rooks, Eickhoff,
Wilson, Peake, Effertz

- 1. Planning Commission Agenda - December 10, 2024**
 - 1.a. Planning Commission Agenda - December 10, 2024
- 2. Roll Call: Meier, Springer-Gasner, Rooks, Eickhoff, Wilson, Peake, Effertz**
- 3. Approval of Last Meeting Minutes**
 - 3.a. Approve minutes of the October 8, 2024 meeting
- 4. Public Hearings**
 - 4.a. Application No. RZ-9
- 5. Downtown Parking Committee Requests**
 - 5.a. None
- 6. Other Business**
 - 6.a. Updates on Previous Items
- 7. Next Meeting - January 14, 2025**
- 8. Adjournment**

Owatonna Planning Commission Agenda

Tuesday, December 10, 2024

5:30 PM

****Charles S. Crandall Center at West Hills****

Roll Call: Meier, Springer-Gasner, Rooks, Eickhoff, Wilson, Peake, Effertz

1. Approve minutes of the December 10, 2024 meeting
2. Public Hearings
 - A. Application No. RZ-9 by Anna Lee, on behalf of the Lee Foundation, a request to rezone property from R-1, Single Family Residential to R-6, High Density Residential District for the purposes of providing group housing for the property located at 545 Florence Avenue NW.
3. Downtown Parking Committee Requests
 - A. None
4. Other Business
 - A. Updates on Previous Items
5. Next Meeting – January 14, 2025
6. Adjourn

OWATONNA PLANNING COMMISSION MINUTES FOR OCTOBER 8, 2024

The Owatonna Planning Commission met in regular session at 5:30 p.m. in the Crandall Center – Chambers with Chairperson Kelly Rooks conducting the meeting. Present at roll call were Commissioners Kelly Rooks, John Eickhoff, Nick Peake, Rachel Springer-Gasner and Dave Effertz. Commissioners Mark Wilson, and Mark Meier were absent. Community Development Director Troy Klecker and Administrative Technician Nikki Callahan were also present.

A motion was made by John Eickhoff and seconded by Dave Effertz to approve the minutes of the regular meeting of September 24, 2024. All Commissioners present voting Aye, the motion carried.

Preliminary Plat of Aire Apartments Addition, which is a 3.5± acre tract of land zoned B-2, Community Business District, requested by Darrin Stadheim, Stadheim Properties of Owatonna, LLC, and located at 525 & 605 Hillcrest Avenue, was presented by Community Development Director Troy Klecker. (Refer to report on file.) Public hearing opened at 5:38pm

1. Dr Mark Magnus and Dr. Kelli Iceman – 803 E School St
Their property abuts the development to the North. They have reviewed the plans for the Aire development. The existing and proposed drainage plans verify that the overland drainage path where it discharges toward Hillcrest Avenue, currently is located on the Aire development property. To accommodate the new parking area the developer is proposing to shift the overland drainage path onto our property. We would like to emphasize that we are not in favor of this encroachment onto our property and believe that the overland drainage path should remain on the developers property. We have contacted the developer to voice these concerns and we remain open to a solution that will not adversely affect our property or his. I urge the zoning board to take these concerns into consideration when reviewing the development plans to protect our property rights and ensure responsible development.
2. Michelle Merxbauer - 710 Bixby Rd. – Her concern is the apartment building is taller than most apartments in this town. This is zoned B-2 and this is pocket zoning. The rest of the neighborhood is residential. This new apartment is equivalent to the size of the hotel downtown or the apartments downtown- The Pearl. The 4-story building will change the look and feel of the current neighborhood. Housing is important and 73 units is appropriate and an asset to our neighborhood. She does not feel the 4 story building fits in with our community and neighborhood.
3. Eric Merxbauer- 710 Bixby Rd - His concerns are with the rain. In 2007 and 2010 they had 18 inches of rain that flooded. He has worked with the city and county and engineers and realized that when the highway was built the drains were put in too small. When we get rain that is more than 1 inch the highway floods and people drive through water. We had a valve put in to stop the water from backing into their yards. But when the highway fills up they had to shut the valve off . In 2010 they had to work on putting in a culvert across the highway to relive the extra water that was pooling. He is concerned that by putting in this apartment and parking lot that it will cause more back up of water draining into their yard. He wants to know if there has been a study done to make sure that is not going to happen. On the south end of town he stated there has been a lot of flooding where we have had to go back in and rework it so that it doesn't flood. He is concerned with the large parking lot being put in at the apartments is going to cause problems that we are not ready for.

4. Peter Moothart– 737 Phelps St. When they moved here in 1987 it was quiet. The proposal changes that. It will be busy on Hillcrest and Phelps. The neighbors are not opposed to an updated building but to go from 1 story at 25 units to 4 stories at 73 units is excessive. The other apartments in the area are 2 or 3 stories. We will have an extra 100 cars on our street between Phelps and Hillcrest. Kids will have to be careful with bikes and balls. Why was this designed with the access on Hillcrest and Phelps; why not keep access on School Street? He is concerned the unique tree will be cut down in order to make the driveway entrance and exit. He would like to know if we have considered the following:
 - Reduce light and noise pollution by adding a fence along Hillcrest. 4 trees are not going to do that. An example of a responsible business is Fareway. They added landscaping to minimize the light pollution from the back entrance and exit.
 - How will this affect our property values? They have put an awful lot into their house and they would hate to lose what they put in.
 - I hope you looked at the proper infrastructure so that we don't have issues like we have had on the south end. He is also concerned about the parking with 130 stalls. He is concerned the visitors will be parking on the streets.
 - He is disappointed in the proposal but thanks us for listening to his concerns.
5. Tim McManimon - His family was the former owner of the Hillcrest Building. They looked at the future of the property and it is an important corner going forward. This street is a main connection from downtown highway 14 and the new High School. They looked at how to utilize this extra space and the research they did lead them to find a developer to use this property to its full potential. The Modern Aire was deteriorating so the next steps were to contact Darrin. They chose him to take on the development of this land for residential housing. These new apartments create 73 new homes for different income levels and brings diversity to this area. Tim feels strongly about Darrin meeting all the requirements to making this successful. Studies show the runoff is less than what it is today. He understands the concerns but the accountability is shown in the requirements. He has no doubt that the owners of the property will abide by the requirements and make it great.
6. Sandy Northman - 720 Bixby Her main concerns are water and traffic. She believes units are needed but it doesn't take much rain to fill the culvert with water. She is also concerned with traffic and the high school. Traffic speeds go up to 50 mph after Jaycee Park so she is concerned with the extra cars and traffic with the apartment at those speeds.
7. Darrin touched base on the concerns. There will be some fine tuning to do with the final plans on the grading. They are not maximizing the space with the 73 units. They are trying to maximize the feasibility of the project. They had to get the approval for the 4 stories which is a concern for some. Looking at Owatonna's future, there will be 4 and 5 stories apartments. They decided on 4 stories instead of 3 to keep the building smaller and allow more parking. They are eliminating 3 means of egress which was driven by Steele County. By their standards they are reducing the traffic flow. Another concern was property values. Darrin believes this project will increase property values.

Public hearing closed at 6:01 pm

Kelly Rooks asked if they commissioners had any questions or comments.

John Eickhoff thanked all those who spoke and voiced their concerns. John had further questions about how far the water is going onto the doctor's property.

John Schulte – engineer at Jones, Haugh and Smith stated the doctor's concerns are referring to the low spot on the empty lot is being filled in. They will be building the parking lot over the low spot. With the parking lot going in there, the water will be redirected to the SE storm water pond. The parking lot will be right up to the property line so the low ground will fill in and the water will be displaced onto their property. They are aware of the concern and will work on some grading on their property.

John Eickhoff asked if this will improve flooding or make it worse on Hillcrest.

John Schulte stated that we are adding impervious surface so there will be more volume of water leaving the site but the rate at which it leaves is less.

John Eickhoff asked if this was not a 4-story building would this go through this process

Troy Klecker stated we would not have gone through this process if it was less than 4 stories. We work with the developer to come up with a plan with what is the most compatible with the neighborhood. This area is zoned commercial and putting apartments will generate more traffic than what we currently have based on the unit size of 73. Some people would have like to see a gas station which would generate more traffic than the apartments. Overall, this will be similar to an office building with people coming and going. The 3 versus 4 stories could be debated. Some feel it is too tall. Trade off with 4 is you get larger setback and get more surface area to allow more parking. If it was 3 stories it would be shorter but take up more space and pushed closer to neighbors and you give up the 11 extra spaces for the building. If we lose parking it could go onto street parking at times. Because the county has an access management plan, we are restricted from having access on Bixby Road. It is best practice to line up with an existing street which is why we are looking at access on Hillcrest. If it was 3 stories there would be no conditional use permit. This conditional use permit request is to allow this building to stand at 4 stories.

David Effertz asked Troy to touch on how the city has addressed flooding in the past. Troy Klecker stated a lot of standards have changed and more stormwater requirements have been put into place since the 2007 and 2010 flooding. Currently, all plans must be engineered drawn. We are not stating that we may never have flooding again, but we have designed it with engineers to fit with the overall drainage plan. This area will be developed at some point with housing so it is great to work with an engineer on this project to use the land to its fullest potential.

A motion was made by John Eickhoff and seconded by Dave Effertz to recommend City Council approval of the preliminary plat of Aire Apartment Addition with the following conditions:

- 1) The title opinion shall be approved by the City Attorney prior to recording of the final plat.
- 2) A shared parking, access, and maintenance agreement shall be recorded with the plat.
- 3) A public drainage easement shall be added to the plat to cover the overland flow from offsite so the City can ensure any future modification or grading is reviewed and approved.

All Commissioners present voting Aye, the motion carried.

CUP-17, which is request by Darrin Stadheim, Stadheim Properties of Owatonna, LLC for a conditional use permit to allow for construction of a four-story apartment building, was presented by Community Development Director Troy Klecker. Code requires an additional five-foot front and side yard setback for each additional story over three. The proposed project will contain a total of 73 units with 19 tuck under garages. (Refer to report on file.) Public hearing opened at 5:38pm

Public hearing closed at 6:01pm. See comments above.

A motion was made by John Eickhoff and seconded by Nick Peake to recommend City Council approval of these conditional use permits to allow for construction of the 73-unit apartment building with the following conditions:

- 1) All exterior signage shall meet all provisions of the sign ordinance and shall apply for and receive sign permits.
- 2) Prior to issuance of the building permit, the City and Owatonna Public Utilities shall approve all grading, drainage, and utility plans.
- 3) A joint parking, access, and maintenance agreement will be required to be recoded along with the plat.
- 4) A total of four trees shall be provided along Hillcrest Avenue north of the access to meet code requirements.

All Commissioners present voting Aye, the motion carried.

Development District No. 20-1 (Hillcrest) TIF Compliance was presented by Community Development Director Troy Klecker. (Refer to report on file.) A motion was made by David Effertz and seconded by Rachel Springer-Gasner to approve the TIF Compliance. All Commissioners voting Aye, the motion carried.

Community Development Director Troy Klecker did not have an update on previous items and is unsure of any items for the next meeting.

A motion was made by Rachel Springer -Gasner to adjourn and seconded by Nick Peake at 6:15 p.m. All Commissioners voting Aye, the motion carried.

Respectfully Submitted,

Greg Kruschke
Community Development Manager

December 6, 2024

To: Planning Commission

From: Community Development Department

RE: Application No. RZ-9 by Anna Lee, on behalf of the Lee Foundation, a request to rezone property from R-1, Single Family Residential to R-6, High Density Residential District for the purposes of providing group housing for the property located at 545 Florence Avenue NW.

Application Review:

Applicant/Owner: Anna Lee, on behalf of the Lee Foundation

Legal Description: Lot 5, Block 2, West Hills No. 2

Existing Zoning: R-1, Single Family Residential District

Existing Land Use: Vacant

Adjacent Zoning & Land Uses: North: Commercial Use zoned B-2 & B-2

South: Residential uses zoned R-1 & R-2

East: Offices zoned R-1

West: Government buildings zoned R-1

Report Attachments: 1. Application Materials
2. Location Maps

Proposed Development:

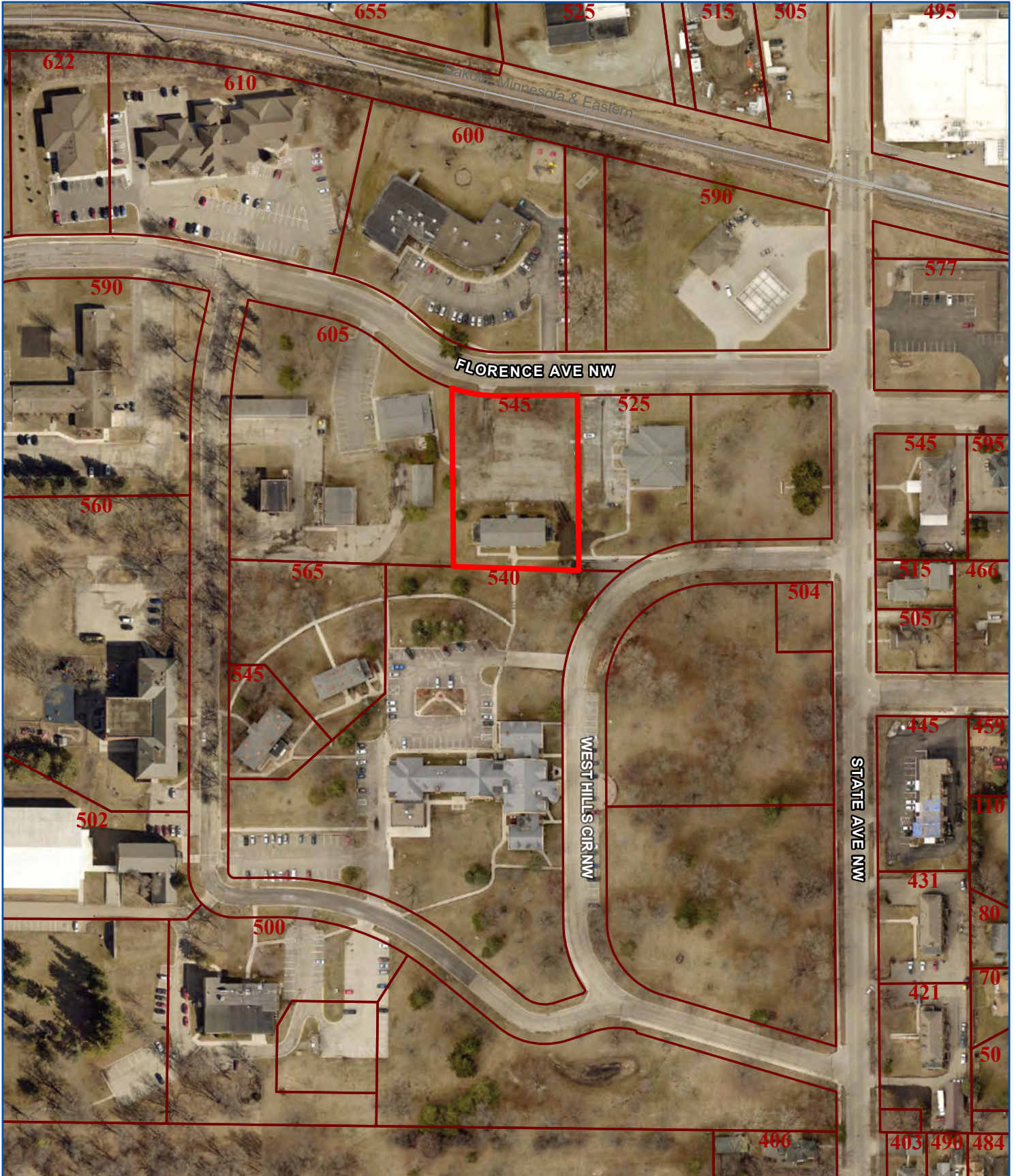
- ◆ Application No. RZ-9 by Anna Lee, on behalf of the Lee Foundation, a request to rezone property from R-1, Single Family Residential to R-6, High Density Residential District for the purposes of providing group housing for the property located at 545 Florence Avenue NW.
- ◆ This building has been vacant for a number of years. Since the hospital was located in this building, it has been historically used with board and lodge type uses since.
- ◆ The entire West Hills Campus is zoned R-1, Single Family Residential.
- ◆ The applicant is exploring uses that would include board and lodge uses, dormitories, and other high density residential uses.
- ◆ A use that is defined as a Residential Facility will need to have a conditional use permit in the proposed zoning district if they plan to locate in this facility.
- ◆ The dormitory use would be permitted in this district. Currently 29 occupants would be permitted on the first and second floors.
- ◆ The third floor of the building would not be used at this time. This space would be permitted to be used when all building codes and architectural requirements are met.

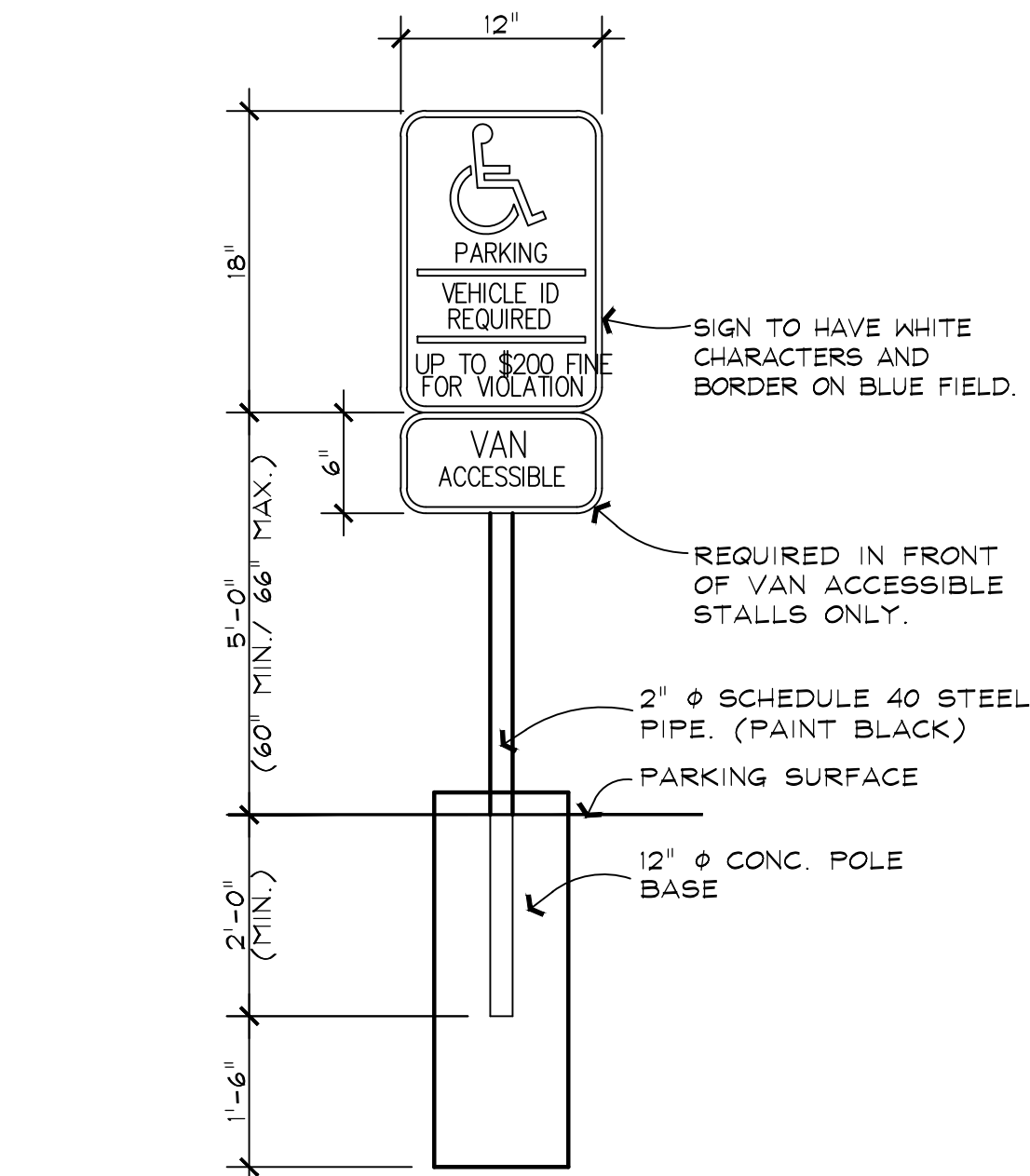
- ◆ This building was historically the hospital for the West Hills Campus.
- ◆ No major changes are proposed for the exterior of the property.
- ◆ Ample parking is available on site. The lot will need to be striped and restored in conjunction with a project occurring.

Staff Review:

Staff feels that the proposed overlay rezoning would fit in with the surroundings and the desired use of this property as designated within the Comprehensive Plan. Staff is recommending approval of the rezoning property from R-1, Single Family Residential District to R-6, High Density Residential District for the property located at 545 Florence Avenue NW.

545 Florence Avenue NW
City of Owatonna



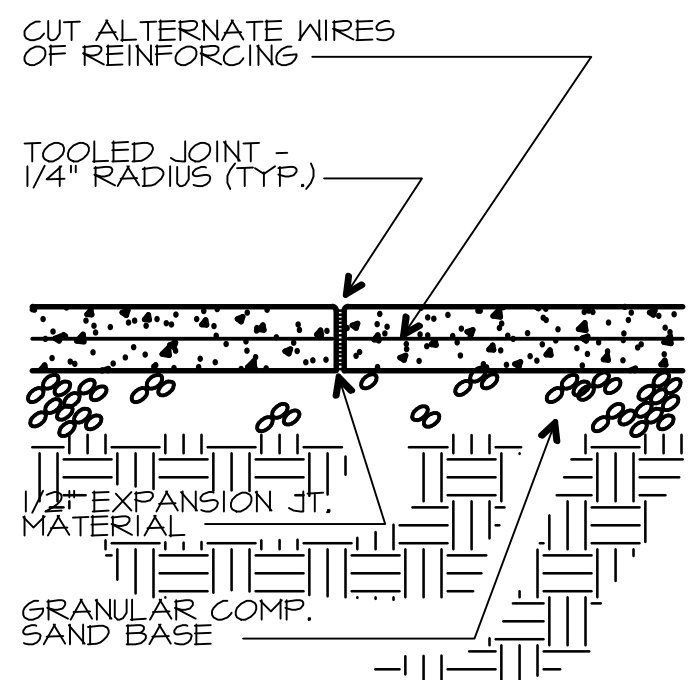


B.F. PARKING SIGN

SCALE: NONE

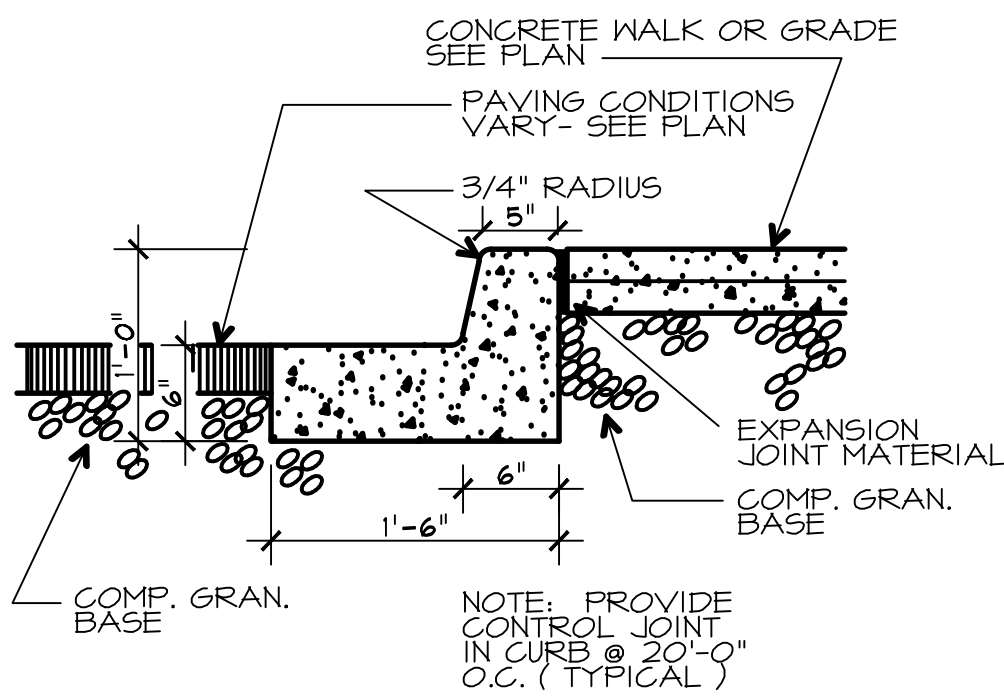
- * SIGN TO MEET MINNESOTA STATE BUILDING CODE AND ADA STANDARDS
- * SIGN TO BE LOCATED A MAXIMUM OF EIGHT FEET FROM HEAD OF PARKING STALL

- WATER MAIN SPECIFICATIONS:
1. GENERAL CONDITIONS - THE GENERAL CONDITIONS OF THE CONTRACT AND GENERAL REQUIREMENTS SHALL APPLY TO ALL WORK OF THIS DIVISION AND SHALL BE REFERRED AS PART OF THE CONTRACT DOCUMENTS.
 2. SCOPE OF WORK - THE SCOPE OF THIS PROJECT INCLUDES, BUT IS NOT LIMITED TO, THE COMPLETE FURNISHING AND INSTALL OF ALL EQUIPMENT, MATERIALS, ITEMS AND LABOR AS REQUIRED FOR NEW WATER MAIN SERVICE FOR THE FIRE PROTECTION SYSTEM.
 3. QUALITY - THE WORK FURNISHED SHALL BE IN A NEAT, WORKMAN-LIKE MANNER BY EXPERIENCED AND SKILLED PERSONS. ALL MATERIALS AND EQUIPMENT SHALL BE NEW. ALL INSTALLATIONS SHALL BE SQUARE AND TRUE TO BUILDING LINES.
 4. DRAWINGS - THE MECHANICAL LAYOUT SHOWN IS ONLY DIAGRAMMATIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXACT LOCATIONS, VERIFYING OF EXISTING CONDITIONS, CO-ORDINATION OF DRAWINGS AND CO-ORDINATION WITH OTHERS TRADE.
 5. THE WATER SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 MINNESOTA STATE PLUMBING CODE CHAPTER 4714 AS AMENDED AND THESE PLANS.
 6. PROPER SEPARATION OF SEWER AND WATER SHALL BE MAINTAINED TO COMPLY WITH SECTION 4714.609.
 7. THE PLUMBING SYSTEM SHALL BE TESTED IN ACCORDANCE WITH SECTION 4714.609.4 AND 4714.712.
 8. THE WATER PIPING SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH SECTION 4714.609.9.
 9. DO NECESSARY EXCAVATION TO COMPLETE THE WORK SHOWN. THE EXCAVATION SHALL BE PRINCIPALLY OF THE OPEN TRENCH METHOD MEETING SAFETY REQUIREMENTS. WORK TO CONFORM TO 4714.718 AND 4714.720.
 10. BACKFILL TRENCHES WITH ACCEPTABLE FILL MATERIAL AND COMPACT TO A DENSITY EQUAL TO ADJACENT SOILS. WORK TO CONFORM WITH 4714.718 AND 4714.720.
 11. WATER SERVICE - PIPING TO CONFORM WITH 4714.604 AND TABLE 604.1 DUCTILE IRON PIPE WITH CURB BOX AND VALVE AND FLANGE FOR SPRINKLER. PROVIDE MECHANICAL JOINTS, THRUST BLOCKS AND CONDUCTIVITY STRAPS. DUCTILE IRON PIPE SHALL COMPLY WITH AWWA C115 AND AWWA C153.



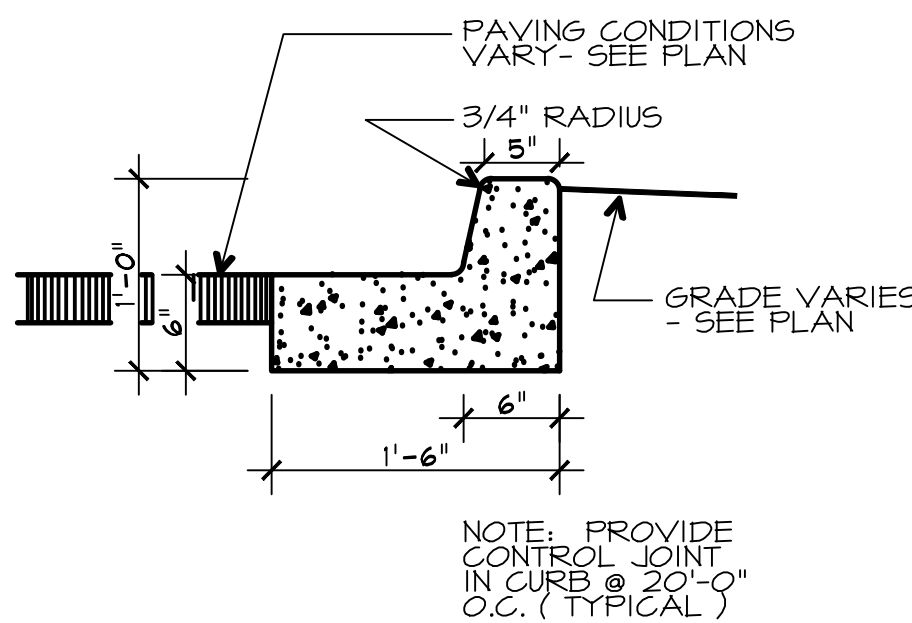
CONC. WALK. JT.

NO SCALE



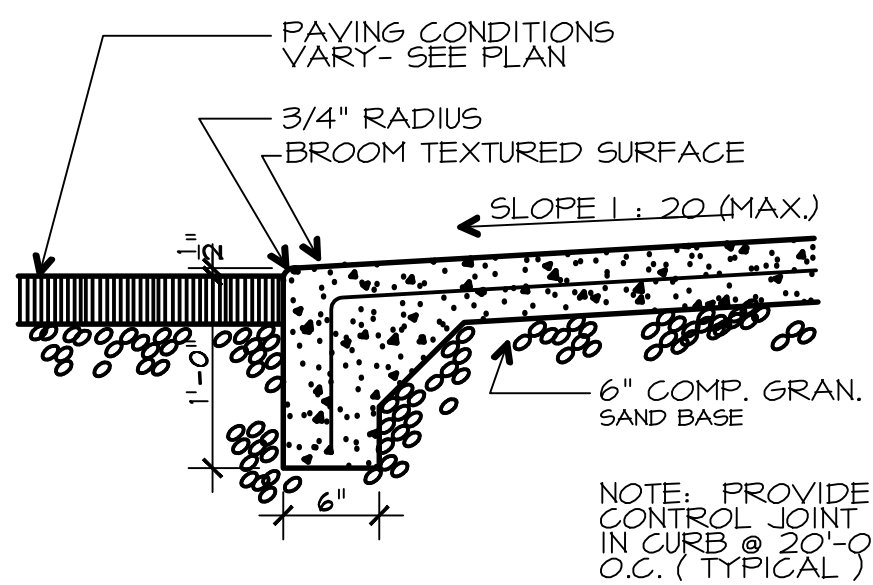
CURB & WALK

NO SCALE



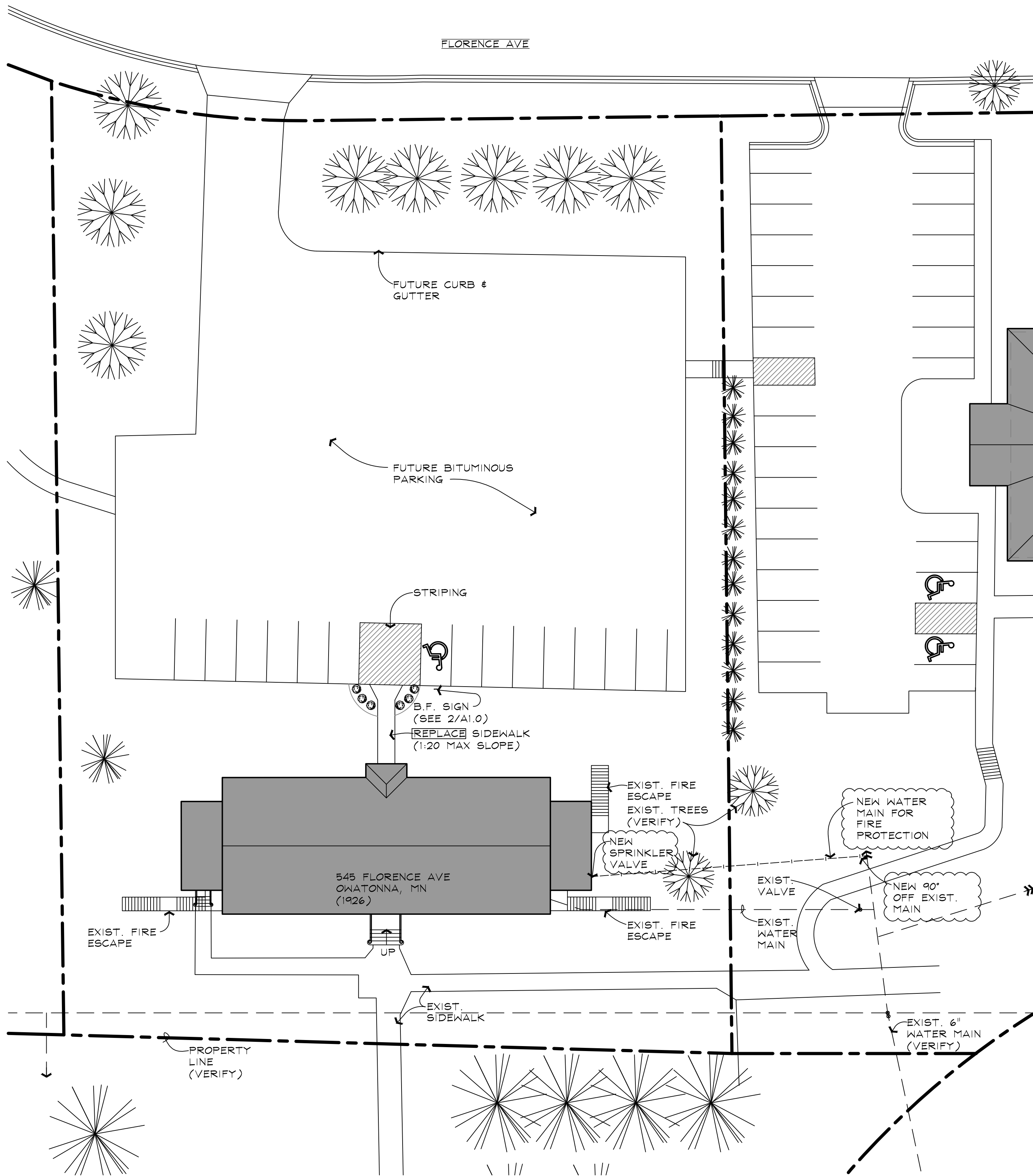
CURB & GRADE

NO SCALE



WALK & ASPHALT

NO SCALE



SITE PLAN

SCALE: 1" = 20'-0"

- R-4 ZONING

DESIGNED	DJM
DRAWN	LM
CHECKED	DJM
PROJECT	21-008
REVISIONS	

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

DAVID J. MEDIN
DAVID J. MEDIN

License No. 9895
Date Oct 26, 2021

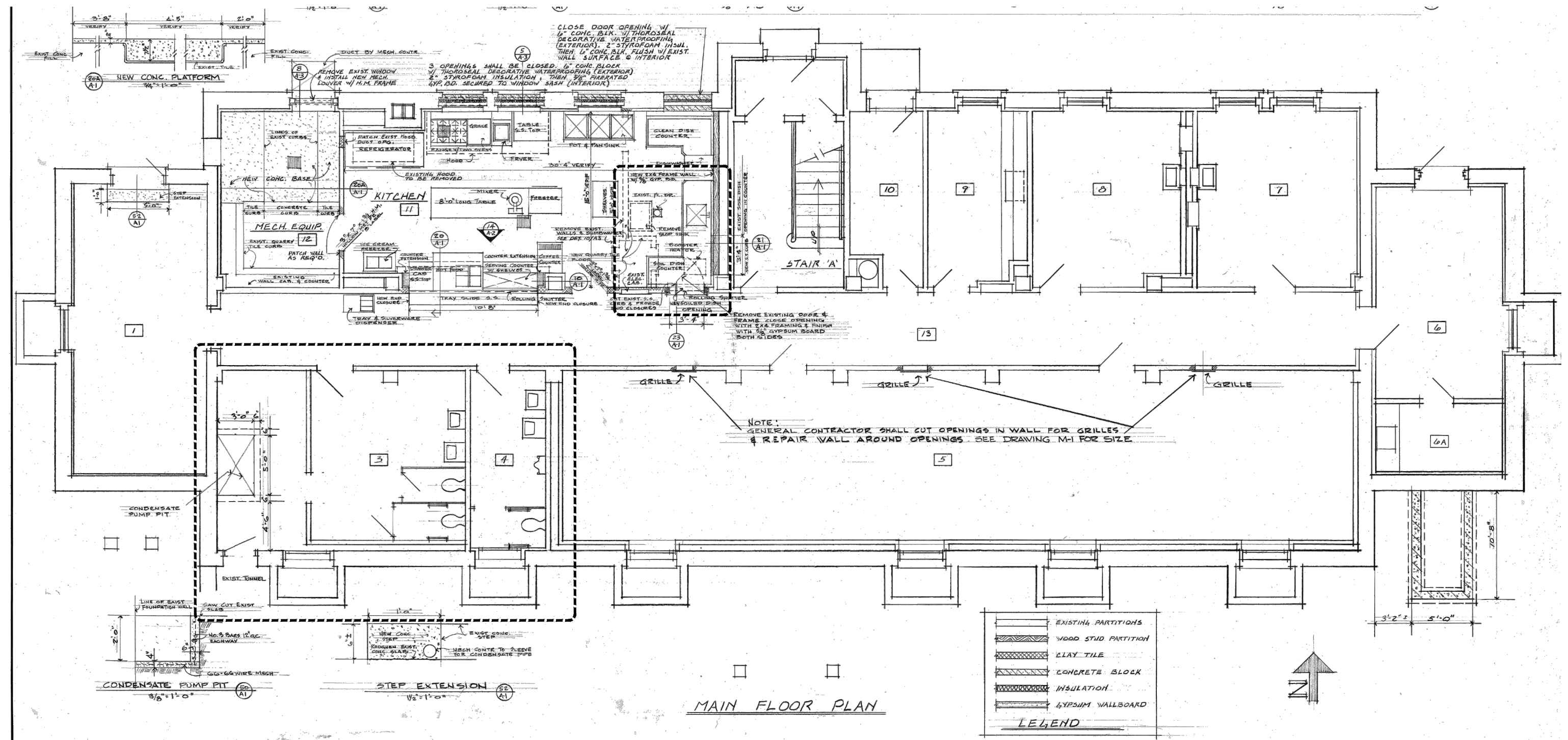
LZL CORP.
FLORENCE GROUP HOME
OWATONNA, MINNESOTA.

DJ MEDIN
architects, inc.
203 n.w. First Ave.
Faribault, MN 55021

507/334-2252

SITE PLAN

A1.0

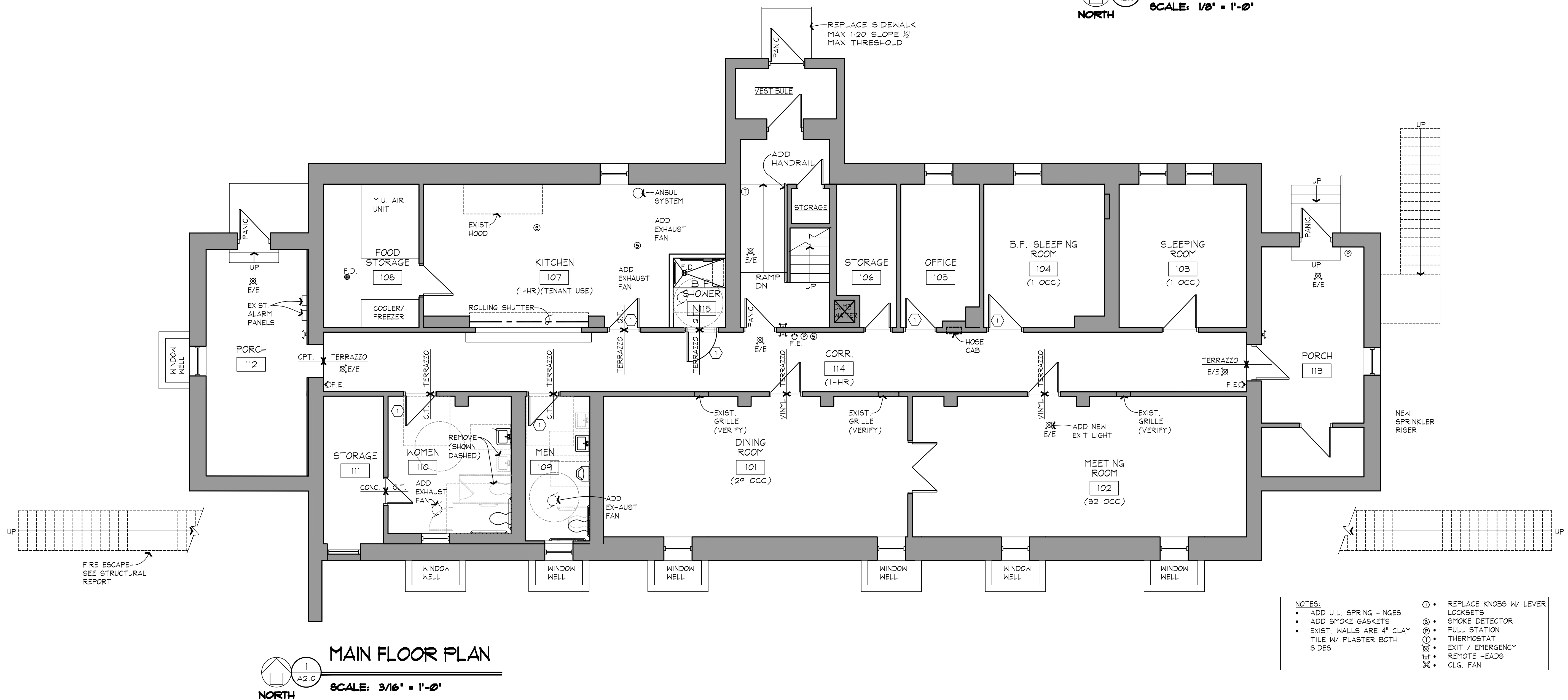


FLOOR PLAN (1976)

2
A2.0

NORTH

SCALE: 1/8" = 1'-0"



DESIGNED	DJM
DRAWN	LMM
CHECKED	DJM
PROJECT	21-008
REVISIONS	

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

DAVID J. MEDIN
DAVID J. MEDIN

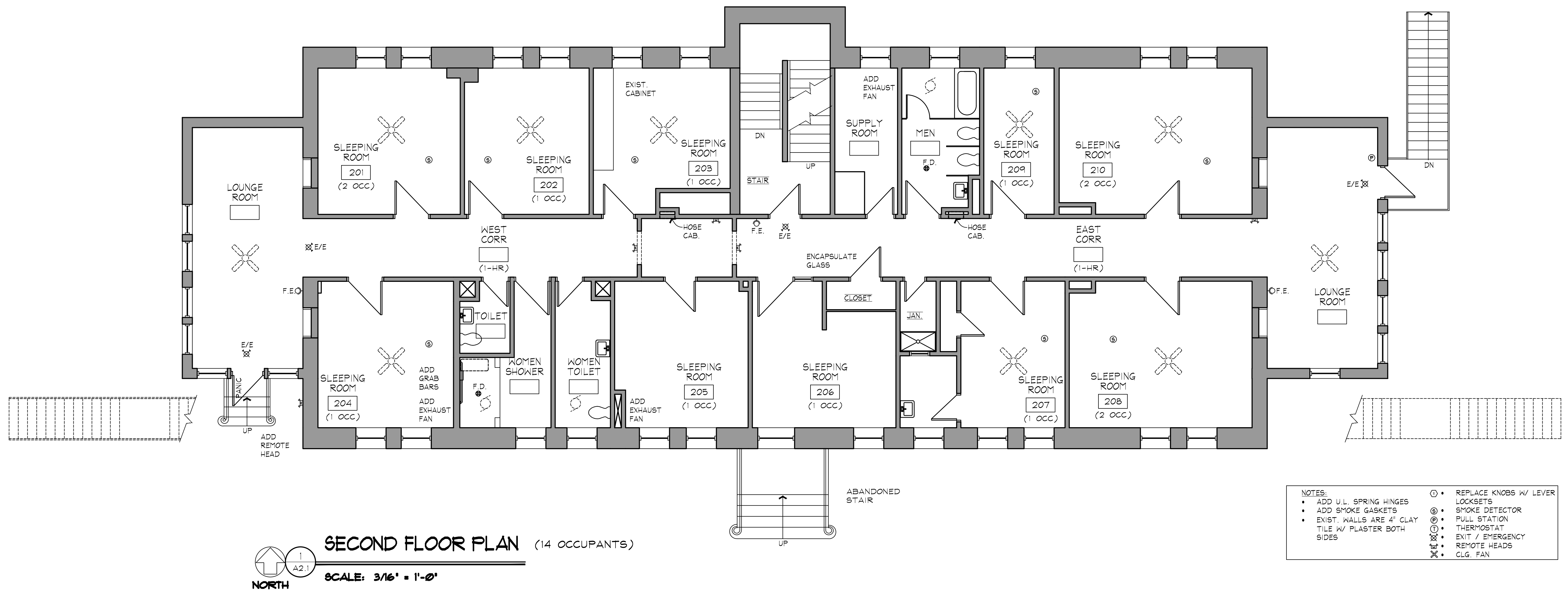
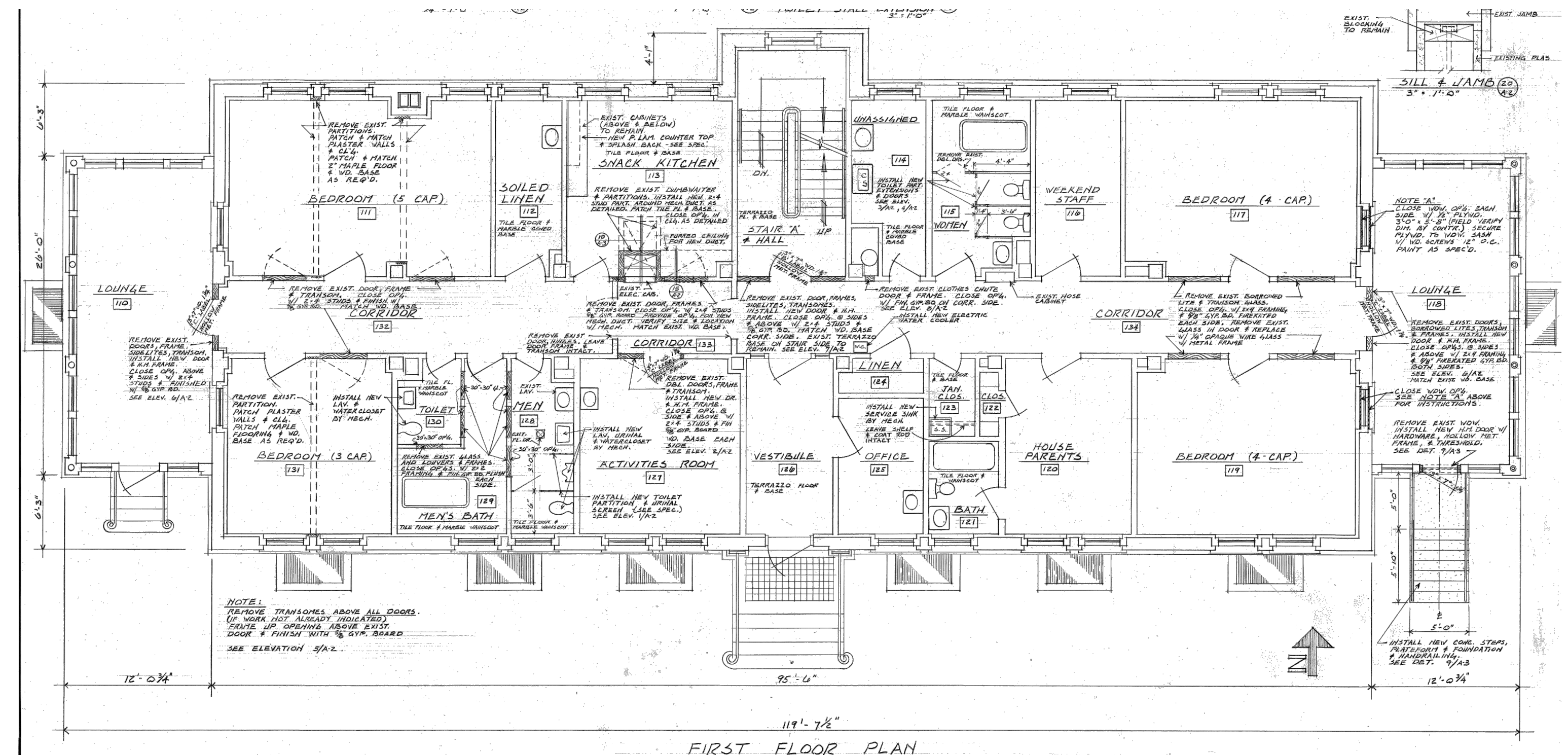
License No. 9808
Date Nov 02, 2021

LZL CORP.
FLORENCE GROUP HOME
QUATONNA, MINNESOTA

DJ MEDIN
architects, inc.
203 n.w. First Ave.
Faribault, MN 55021

507/334-2252

MAIN
FLOOR PLAN
A2.0



DESIGNED	DJM
DRAWN	LMM
CHECKED	DJM
PROJECT	21-008
REVISIONS	

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.
 (architectural only)

David J. Medin
 DAVID J. MEDIN

License No. 0808
 Date Nov 02, 2021

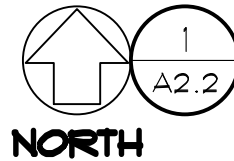
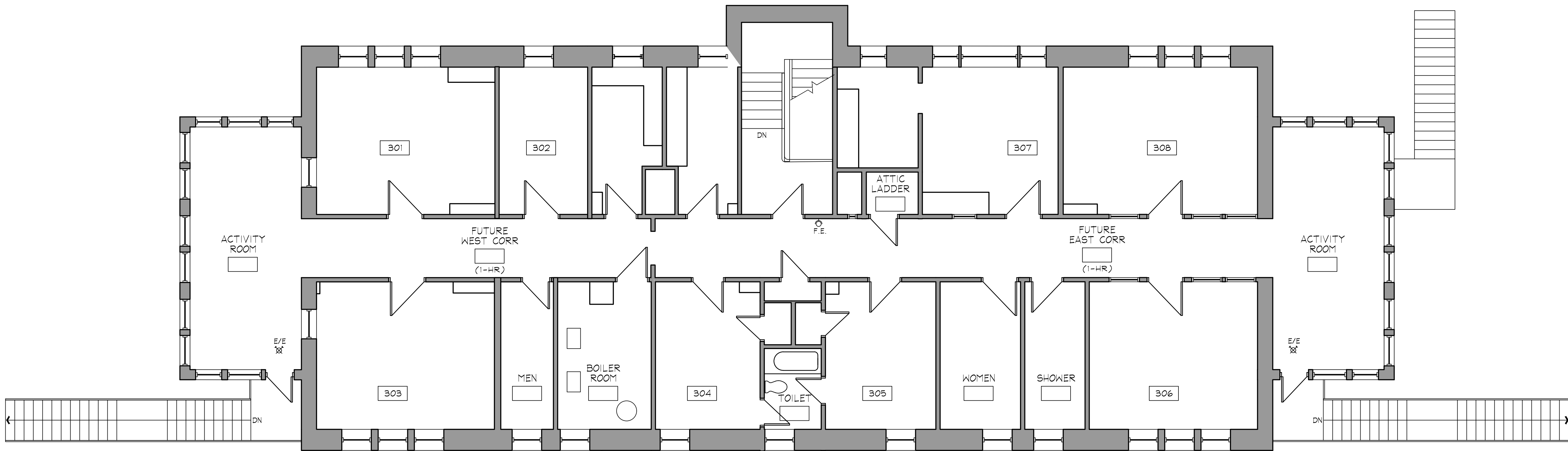
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 QUATONNA, MINNESOTA.

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 Faribault, MN 55021

507/334-2252

SECOND
 FLOOR PLAN

A2.1



THIRD FLOOR PLAN (NO WORK THIS FLOOR)

SCALE: 3/16" = 1'-0"

- NOTES:
- ADD U.L. SPRING HINGES
 - ADD SMOKE GASKETS
 - EXIST. WALLS ARE 4" CLAY TILE W/ PLASTER BOTH SIDES
 - REPLACE KNOBS W/ LEVER LOCKSETS
 - SMOKE DETECTOR
 - PULL STATION
 - THERMOSTAT
 - EXIT / EMERGENCY REMOTE HEADS
 - CLG. FAN

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DESIGNED	DJM
DRAWN	LMM
CHECKED	DJM
PROJECT	21-008
REVISIONS	

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

(architectural only)
David J. Medin
DAVID J. MEDIN

License No. 0808
Date Nov 02, 2021

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FLORENCE GROUP HOME
QUATONNA, MINNESOTA



architects, inc.
203 n.w. First Ave.
Faribault, MN 55021

507/334-2252

THIRD
FLOOR PLAN

A2.2

WEST HILLS LODGE

545 FLORENCE AVE., OWATONNA, MINNESOTA

ABBREVIATIONS:				SYMBOLS:				SHEET INDEX:	
A. A.B. ANCHOR BOLT ACT ACOUSTICAL CEILING TILE ADD AMERICANS DISABILITIES ACT ADDL. ADDENDUM ADJ. ADDITIONAL ADJ. ADJACENT ADMIN. ADMINISTRATION A.F.F. ABOVE FINISHED FLOOR AHU AIR HANDLING UNIT ALT. ALTERNATE ALUM. ALUMINUM AP ACCESS PANEL APPROX. APPROXIMATE ARCH. ARCHITECTURAL ATC ACOUSTIC TILE CEILING AUTO. AUTOMATIC B. BD. BOARD BIT BITUMINOUS BLDG. BUILDING BLKG. BLOCKING BM. BEAM BOT. BOTTOM BRG. BEARING BSMT. BASEMENT C. CAB. CABINET C.J. CONSTRUCTION JOINT CLG. CEILING CLR. CLEAR CMU CONCRETE MASONRY UNITS COL. COLUMN COMB. COMBINATION CONC. CONCRETE CONF. CONFERENCE CONN. CONNECTION CONST. CONSTRUCTION CONT. CONTINUOUS CONTR. CONTRACTOR COORD. COORDINATE CORR. CORRIDOR CPT. CARPET CTR. CERAMIC TILE CENTER D. DEMO. DEMOLITION DEPT. DEPARTMENT DF. DRINKING FOUNTAIN DIA. DIAMETER DIA. DIAGONAL DIM. DIMENSION DIP. DISPENSER DIST. DISTRIBUTION DIV. DIVISION DN. DOWN DP. DEEP E. EA. EACH EF. EXHAUST FAN EIFS. EXTERIOR INSULATION FINISH EL. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATOR EMERG. EMERGENCY ENCL. ENCLOSURE ENTR. ENTRANCE EQ. EQUAL EQUIP. EQUIPMENT EX. EXISTING EXP. EXPANSION EXT. EXTERIOR F. FD. FLOOR DRAIN FOUNDATION FE. FIRE EXTINGUISHER FINISH FLR. FLOOR FRP. FIBERGLASS REINFORCED PANEL FT. FOOT/FEET FTN. FOUNTAIN FUT. FUTURE G. GA. GAUGE GALV. GALVANIZED GB. GRAB BAR GEN. GENERAL GYP. GYPSUM H. HB. HIGH HD. HOSE BIBB HDCP. HAND DRYER HDR. HEADER HGT. HEIGHT HM. HOLLOW METAL HORIZ. HORIZONTAL HR. HOUR HTR. HEATER HVAC. HEATING VENTILATING AIR-CONDITIONING I. IN. INCH INSUL. INSULATION INT. INTERIOR J. JAN. JANITOR JST. JOIST JT. JOINT K. KO. KNOCK OUT L. LAM. LAMINATE LAV. LAVATORY LB. POUND LIN. LINEAR LVR. LOUVER M. MATL. MATERIAL MAX. MAXIMUM MECH. MECHANICAL MEMB. MEMBRANE MTL. METAL MEZZ. MEZZANINE MFG. MANUFACTURING MFR. MANUFACTURER MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS M.O. MASONRY OPENING MTD. MOUNTED N. N/A. NOT APPLICABLE NIC. NOT IN CONTRACT NO. NO NOM. NOMINAL NTS. NOT TO SCALE O. OC. ON CENTER OPP. OPPOSITE P. PL. PLATE PLAM. PLASTIC LAMINATE PLMB. PLUMBING PLWD. PLYWOOD PNL. PANEL PR. PAIR PRELIM. PRELIMINARY Q. QT. QUARRY TILE R. RD. RADIUS REC. RECESSED ROOF. ROOF DRAIN REBAR. REINFORCING ROD REF. REFERENCE REFRIG. REFRIGERATOR REINF. REINFORCING REQD. REQUIRED REV. REVISION RM. ROOM RO. ROUGH OPENING S. SCHED. SCHEDULE SD. SMOKE DAMPER SECT. SECTION SH. SHELF SHR. SHOWER SHT. SHEET SHTG. SHEATHING SIM. SIMILAR SPEC. SPECIFICATION ST. STREET SQ. SQUARE STD. STANDARD STL. STEEL STOR. STORAGE STRUCT. STRUCTURAL SUPV. SUPERVISOR SUSP. SUSPENDED T. TEMP. TEMPERED T. TEMPERED TERR. TERRAZZO T&G. TONGUE AND GROOVE T-HOLD THRESHOLD TS. TUBE STEEL TV. TELEVISION TYP. TYPICAL U. UNFIN. UNFINISHED UNO. UNLESS NOTED OTHERWISE UR. URINAL UTIL. UTILITY V. VCT. VINYL COMPOSITION TILE VENT. VENTILATION VERT. VERTICAL VEST. VESTIBULE W. WIDE W/ WITH W/O. WITHOUT WD. WOOD WDW. WINDOW WGT. WEIGHT W-STRIP WEATHERSTRIP W.W.F. WELDED WIRE MESH WP. WATERPROOF Y. YD. YARD L. ANGLE E. AND C. CENTER LINE S. STRUCTURAL LINE Ø. DIAMETER				VESTIBULE ROOM NAME ROOM NUMBER DOOR NUMBER WINDOW IDENTIFICATION ELEVATION DATUM REVISION MARKER WALL SECTION MARKER ELEVATION MARKER ENLARGED DETAIL INDICATOR EXIT SIGN/ EMERGENCY LIGHT NEW DOOR EXISTING DOOR EXISTING WALL CONSTRUCTION NEW WALL CONSTRUCTION CONCRETE CONCRETE BLOCK OUTSET GIRT W/ METAL WALL PANEL BREAK LINE				ARCHITECTURAL A0.0 TITLE SHEET A1.0 SITE PLAN A2.0 MAIN FLOOR PLAN A2.1 SECOND FLOOR PLAN A2.2 THIRD FLOOR PLAN A3.0 ENLARGED MAIN FLOOR PLAN A5.0 EXTERIOR ELEVATIONS	
				CIVIL (N/C) ELECTRICAL (BY OTHERS) PLUMBING (BY OTHERS) MECHANICAL (BY OTHERS) DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE DJ MEDIN architects, inc. I, DAVID MEDIN, AM THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR THE FLORENCE GROUP HOME PROJECT.					
				PROJECT DIRECTORY: OWNER LEE FOUNDATION 2300 PARK DRIVE, SUITE 300 OWATONNA, MN 55060 CONTACT: ANNA LEE Anna.Lee@izengineering.com ARCHITECT DJ MEDIN architects, inc. DJ MEDIN architects, inc. 203 n.w. first ave. faribault, minn. 55021 507-334-2252 CONTACT: DAVID MEDIN/NATE SOMMER nsommer@djmedinarchitects.com STRUCTURAL ENGINEERS Larson ENGINEERING INC. 3524 LABORE ROAD WHITE BEAR LAKE, MN. 55110 651-481-9120 CONTACT: DOUG HUGHES dhughes@larsonengr.com SPRINKLER DESIGN-BUILD CONTRACTOR OLYMPIC FIRE PROTECTION 1355 STATE AVE. OWATONNA, MN 55060 PH: 507.455.1150 PLUMBING CONTRACTOR BLOCK PLUMBING & HEATING 614 E RICE LAKE RD, OWATONNA, MN 55060 PH: 507.451.9545 ELECTRICAL CONTRACTOR COLE'S ELECTRIC INC 1536 NW 40TH ST, OWATONNA, MN 55060 PH: 507.451.1381					
GENERAL NOTES: 1. ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO CITY, STATE, AND FEDERAL CODES GOVERNING NEW CONSTRUCTION IN THIS COMMUNITY. 2. THE DESIGNS AND DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND CAN BE REPRODUCED ONLY WITH THE ARCHITECT'S PERMISSION. 3. ALL MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS TO BE SUBMITTED BY RESPECTIVE SUB-CONTRACTORS. 4. MECHANICAL SUPPLIER TO COORDINATE W/ROOF INSTALLER FOR PROPER INSTALLATION FOR ROOF PENETRATIONS, (STACKS/VENTS/ETC.) 5. CONTRACTOR TO COORDINATE W/LOCAL INSPECTOR/FIRE MARSHALL AS TO TYPES/QUANTITY/LOCATIONS OF SMOKE DETECTORS/FIRE ALARMS/ AND FIRE EXTINGUISHERS. 6. ELECTRICAL CONTRACTOR TO VERIFY W/OWNER AS TO LOCATION OF ADDITIONAL ELECTRICAL PANELS IF REQUIRED. 7. SEE ROOM FINISH SCHEDULE SHEET A4.0 FOR INTERIOR FINISH REQUIREMENTS. 8. WHEEL CHAIR TURNING SPACE-THE SPACE REQUIRED FOR A WHEELCHAIR TO MAKE A 180 DEGREE TURN IS A CLEAR SPACE OF 60 INCHES IN DIAMETER. (SECT. 4.2.3, ADA). 9. CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS, (DUE TO INSET DOOR SWING CLEARANCE), MINIMUM SPACE REQUIRED TO ACCOMMODATE A SINGLE STATIONARY WHEELCHAIR AND OCCUPANT IS 30 INCHES BY 48 INCHES. THIS SPACE MAY BE POSITIONED FOR FORWARD OR PARALLEL APPROACH TO AN OBJECT AND MAY BE PART OF THE KNEE SPACE REQUIRED UNDER SOME OBJECTS. (SECT. 4.2.4, ADA). 10. ELECTRICAL CONTRACTOR TO PROVIDE CONDUITS FOR SITE LIGHTING AND SIGNAGE AND PROVIDE STUB-OUTS FOR FUTURE IF NEEDED. 11. ALL EXTERIOR LIGHTING, INCLUDING THOSE ON POLES AND ATTACHED ON BUILDING, SHOULD BE DESIGNED AS 'CUTOFF' STYLE.				CODE REVIEW: BUILDING CODE: 2020 MINNESOTA STATE BUILDING CODE -2020 MINNESOTA CONSERVATION CODE FOR EXISTING BUILDINGS (CHAP. 1311) - WORK AREA COMPLIANCE METHOD (ALTERATION - LEVEL 2) -2020 MINNESOTA ACCESSIBILITY CODE (CHAP. 1341) CITY OF OWATONNA ZONING ORDINANCES 545 FLORENCE AVE. OWATONNA, MN 55060 PROPERTY ADDRESS: OCCUPANCY: R-2 (BOARDING HOUSE) CONSTRUCTION TYPE: V-B AUTOMATIC SPRINKLER SYSTEM: NFPA 13R SPRINKLER ALLOWABLE AREA: UNLIMITED (R-3, WITH NFPA 13R SPRINKLER, TYPE V-B) (TABLE 506.2) ALLOWABLE HEIGHTS AND STORIES: (TABLES 504.3 & 504.4) 60 FEET, 4 STORIES FOR R-3 OCCUPANCY WITH NFPA 13R SPRINKLER (TYPE V-B) BUILDING AREA: 4,391 SQ.FT. (FOOTPRINT) ACTUAL HEIGHT: 3 STORY, 51'-0"± CODE CALCULATED OCCUPANT LOAD: (TABLE 1004.5) MAIN LEVEL: OFFICES: 503/150 = 3 DINING/MEETING: 906/15 = 60 (c.) RES. SLEEPING: SEE a = 4 KITCHEN: 440/200 = 2 STORAGE: 332/300 = 1 TOTAL = 73 OCCUPANTS SECOND LEVEL: RESIDENTIAL: SEE b = 32 STORAGE: 91/300 = 1 TOTAL = 33 OCCUPANTS THIRD LEVEL: THIS LEVEL IS NOT BEING OCCUPIED TOTAL BUILDING = 106 OCCUPANTS a. OCCUPANTS BASED ON AREA AFTER TURNING RADIUS AND ACCESS ISLES WERE SUBTRACTED b. OCCUPANT LOAD BASED ON INDIVIDUAL ROOM SQ. FT. WITH OCC. LOAD FACTOR OF 50 SQ. FT. PER OCCUPANT - SEE FLOOR PLAN c. DINING ROOM AND MEETING ROOM OCC. NOT INCLUDED FOR REQUIRED PLUMBING SHOWER FIXTURES. SHOWER OCCUPANTS BASED ON RESIDENTS SLEEPING OCC. PLUMBING FIXTURES (TABLE 2902.1): (BASED ON RES. SLEEPING OCCUPANT LOAD) 46 D.P. RESIDENTIAL CONGREGATE LIVING OCCUPANTS = 46 (23 MEN, 23 WOMEN) W.C.= 1/10 LAV.= 1/10 TUB/SHWR.= 1/8 D.F.= 1/100 = 2.3 WC EACH; 2.3 LAV EACH; 2.9 BATHTUB OR SHOWER EACH; PLUMBING FIXTURES REQUIRED: MEN: 3 WC, 3 LAV, 3 BATHTUB/SHOWER WOMEN: 3 WC, 3 LAV, 3 BATHTUB/SHOWER 1 DRINKING FOUNTAIN 1 SERVICE SINK PLUMBING FIXTURES PROVIDED: MEN: 4 WC, 3 LAV, 1 URINAL 4 SHWR. WOMEN: 3 WC, 3 LAV, 2 SHWR UNISEX: 1 SHWR (MAIN LEVEL) 1 DRINKING FOUNTAINS 1 SERVICE SINK ADA ACCESSIBLE UNIT: TWO (MAIN LEVEL) CORRIDORS (1020): 1 HOUR RATING REQUIRED FOR OCCUPANCY TYPE R (NFPA 13R) 44" MINIMUM WIDTH DEAD-END CORRIDORS SHALL NOT EXCEED 20 FEET 1-HR CORRIDOR DOORS TO BE RATED 20 MIN WITH SELF CLOSING HINGES AND GASKETS. TYPICAL EXISTING CORRIDOR WALL: 4" CLAY TILE WITH PLASTER ON BOTH SIDES.					

DESIGNED	DJM
DRAWN	DSC
CHECKED	DJM
PROJECT	23040
REVISIONS	

ISSUED FOR PERMIT 12-22-23

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota. (architectural only)

DAVID J. MEDIN

License No. 9898

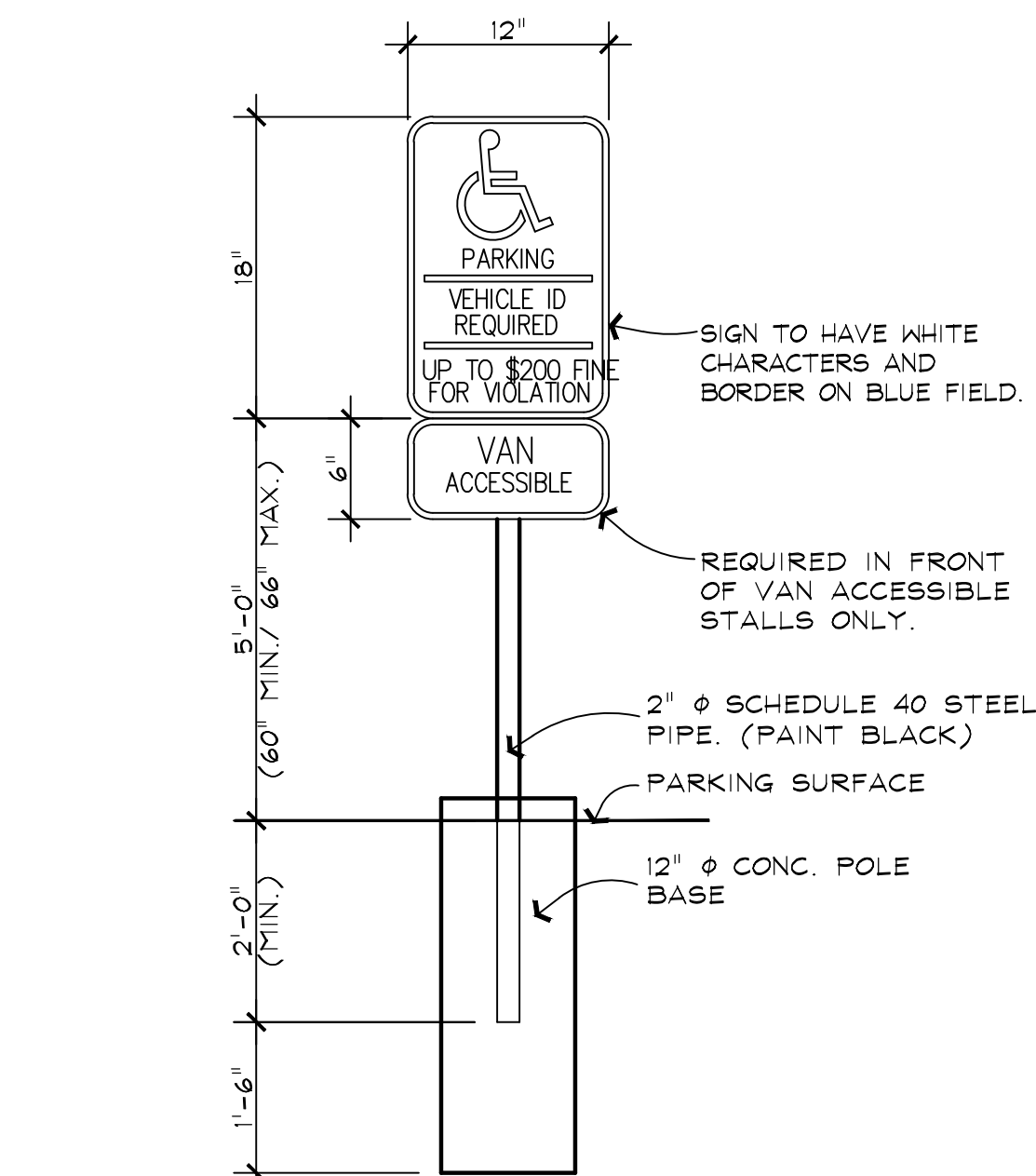
Date Nov 22, 2024

WEST HILL LODGE
545 FLORENCE AVE
OWATONNA
MINNESOTA

DJ MEDIN
architects, inc.
203 n.w. First Ave.
Faribault, MN 55021
507/334-2252

TITLE SHEET

A0.0

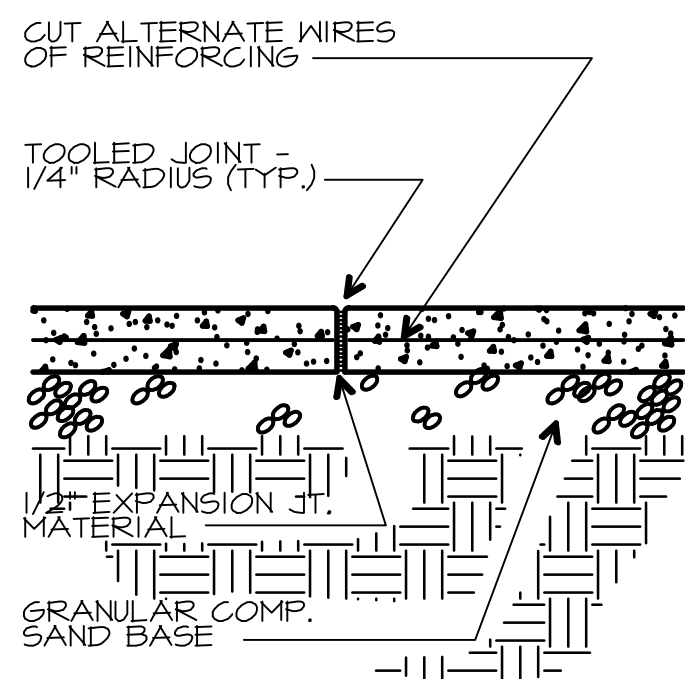


B.F. PARKING SIGN

SCALE: NONE

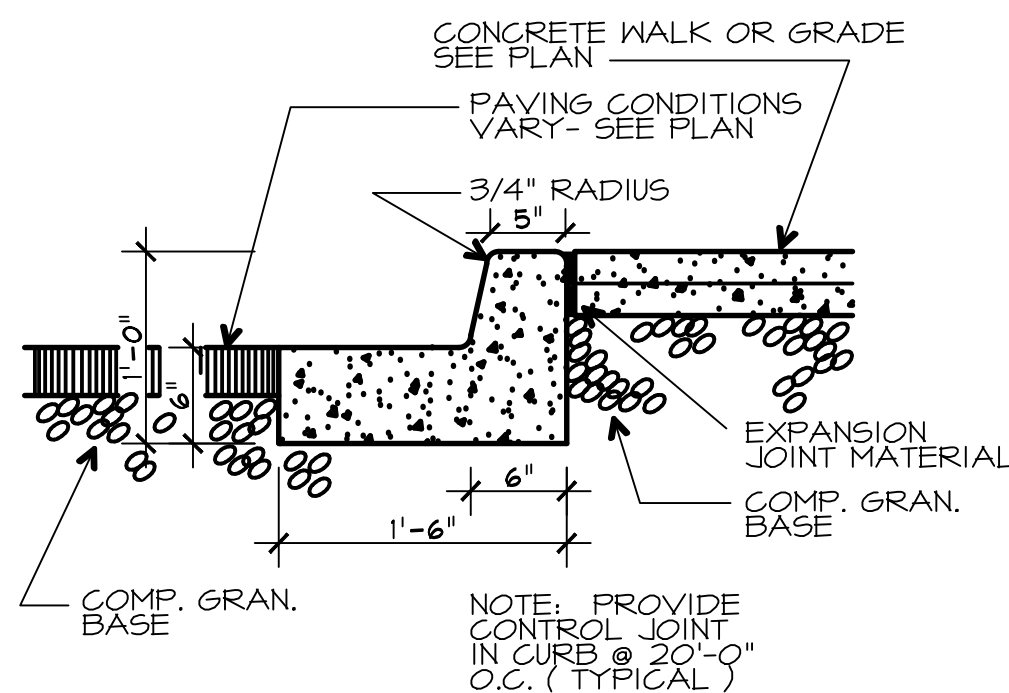
- * SIGN TO MEET MINNESOTA STATE BUILDING CODE AND ADA STANDARDS
- * SIGN TO BE LOCATED A MAXIMUM OF EIGHT FEET FROM HEAD OF PARKING STALL

- WATER MAIN SPECIFICATIONS:
1. GENERAL CONDITIONS - THE GENERAL CONDITIONS OF THE CONTRACT AND GENERAL REQUIREMENTS SHALL APPLY TO ALL WORK OF THIS DIVISION AND SHALL BE REFERRED AS PART OF THE CONTRACT DOCUMENTS.
 2. SCOPE OF WORK - THE SCOPE OF THIS PROJECT INCLUDES, BUT IS NOT LIMITED TO, THE COMPLETE FURNISHING AND INSTALL OF ALL EQUIPMENT, MATERIALS, ITEMS AND LABOR AS REQUIRED FOR NEW WATER MAIN SERVICE FOR THE FIRE PROTECTION SYSTEM.
 3. QUALITY - THE WORK FURNISHED SHALL BE IN A NEAT, WORKMAN-LIKE MANNER BY EXPERIENCED AND SKILLED PERSONS. ALL MATERIALS AND EQUIPMENT SHALL BE NEW. ALL INSTALLATIONS SHALL BE SQUARE AND TRUE TO BUILDING LINES.
 4. DRAWINGS - THE MECHANICAL LAYOUT SHOWN IS ONLY DIAGRAMMATIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXACT LOCATIONS, VERIFYING OF EXISTING CONDITIONS, CO-ORDINATION OF DRAWINGS AND CO-ORDINATION WITH OTHERS TRADE.
 5. THE WATER SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 MINNESOTA STATE PLUMBING CODE CHAPTER 4714 AS AMENDED AND THESE PLANS.
 6. PROPER SEPARATION OF SEWER AND WATER SHALL BE MAINTAINED TO COMPLY WITH SECTION 4714.609.
 7. THE PLUMBING SYSTEM SHALL BE TESTED IN ACCORDANCE WITH SECTION 4714.609.4 AND 4714.712.
 8. THE WATER PIPING SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH SECTION 4714.609.9.
 9. DO NECESSARY EXCAVATION TO COMPLETE THE WORK SHOWN. THE EXCAVATION SHALL BE PRINCIPALLY OF THE OPEN TRENCH METHOD MEETING SAFETY REQUIREMENTS. WORK TO CONFORM TO 4714.718 AND 4714.720.
 10. BACKFILL TRENCHES WITH ACCEPTABLE FILL MATERIAL AND COMPACT TO A DENSITY EQUAL TO ADJACENT SOILS. WORK TO CONFORM WITH 4714.718 AND 4714.720.
 11. WATER SERVICE - PIPING TO CONFORM WITH 4714.604 AND TABLE 604.1 DUCTILE IRON PIPE WITH CURB BOX AND VALVE AND FLANGE FOR SPRINKLER. PROVIDE MECHANICAL JOINTS, THRUST BLOCKS AND CONDUCTIVITY STRAPS. DUCTILE IRON PIPE SHALL COMPLY WITH AWWA C115 AND AWWA C153.



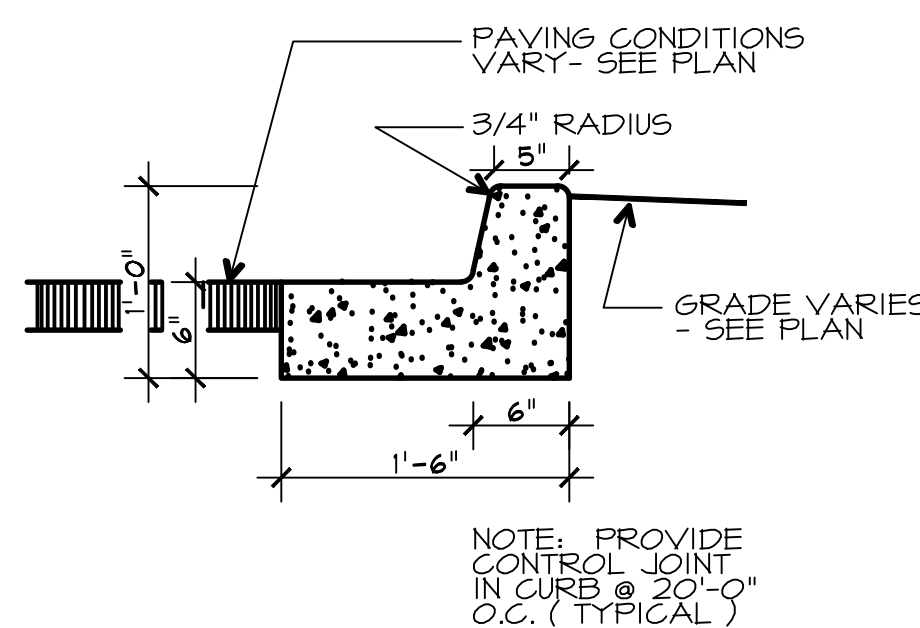
CONC. WALK. JT.

NO SCALE



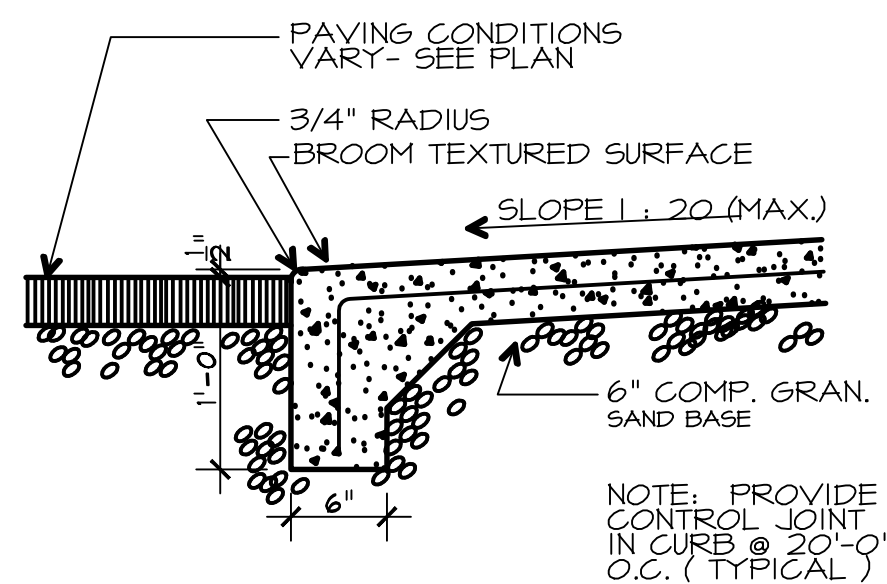
CURB & WALK

NO SCALE



CURB & GRADE

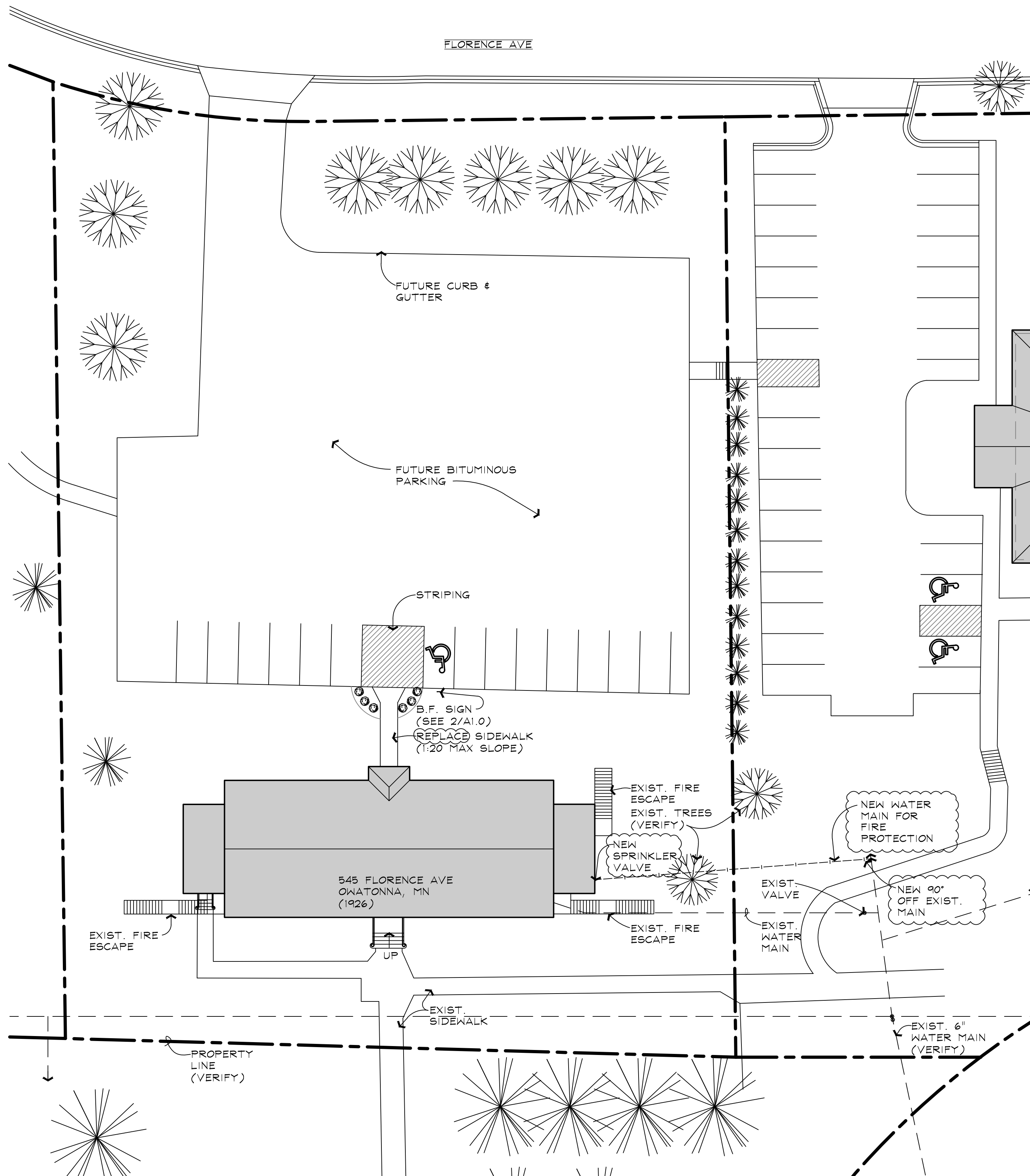
NO SCALE



WALK & ASPHALT

NO SCALE

PROPERTY HAS NOT BEEN SURVEYED. SITE PLAN APPROXIMATED BASED ON AERIAL PHOTOS.



SITE PLAN

SCALE: 1" = 20'-0"

- R-4 ZONING

DESIGNED	DJM
DRAWN	LMM
CHECKED	DJM
PROJECT	23040
REVISIONS	

ISSUED FOR PERMIT 12-22-23

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DAVID J. MEDIN

License No. 9898

Date Nov 22, 2024

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OWATONNA, MINNESOTA

DJ MEDIN
architects, inc.
203 N.W. First Ave.
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507/334-2252

SITE PLAN

A1.0

DESIGNED	DJM
DRAWN	DSC
CHECKED	DJM
PROJECT	23040
REVISIONS	

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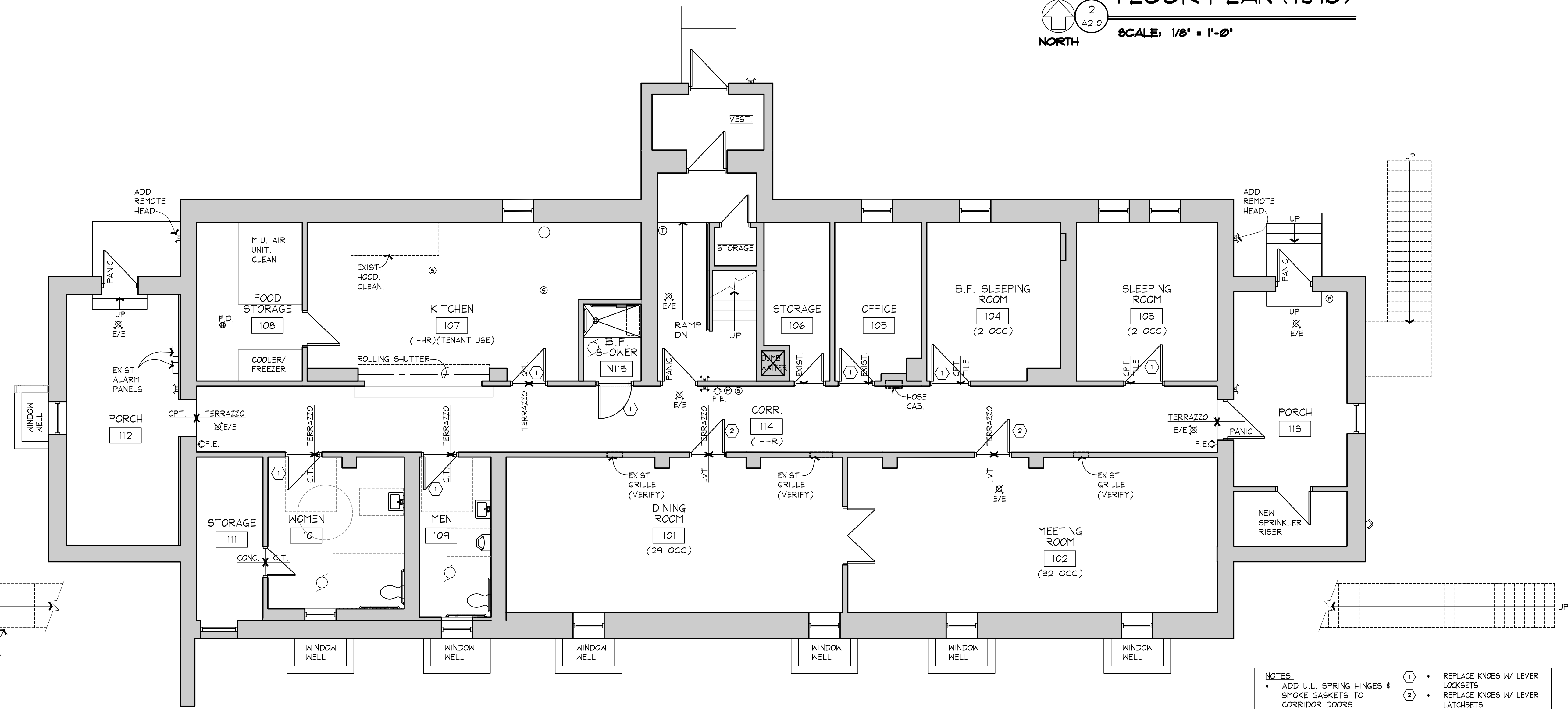
DAVID J. MEDIN
License No. 0808
Date Nov 22, 2024

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MAIN
FLOOR PLAN
A2.0

 **FLOOR PLAN (1976)**
SCALE: 1/8" = 1'-0"



 **MAIN FLOOR PLAN**
SCALE: 3/16" = 1'-0"

- NOTES:
- ADD U.L. SPRING HINGES & SMOKE GASKETS TO CORRIDOR DOORS
 - EXIST. WALLS ARE 4" CLAY TILE W/ PLASTER BOTH SIDES. FIRE CAULK ALL PENETRATIONS.
 - ① • REPLACE KNOBS W/ LEVER LOCKSETS
 - ② • REPLACE KNOBS W/ LEVER LATCHSETS
 - ③ • SMOKE DETECTOR
 - ④ • PULL STATION
 - ⑤ • THERMOSTAT
 - ⑥ • EXIT / EMERGENCY REMOTE HEADS
 - ⑦ • CLG. FAN

DESIGNED	DJM
DRAWN	DSC
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PROJECT	23040
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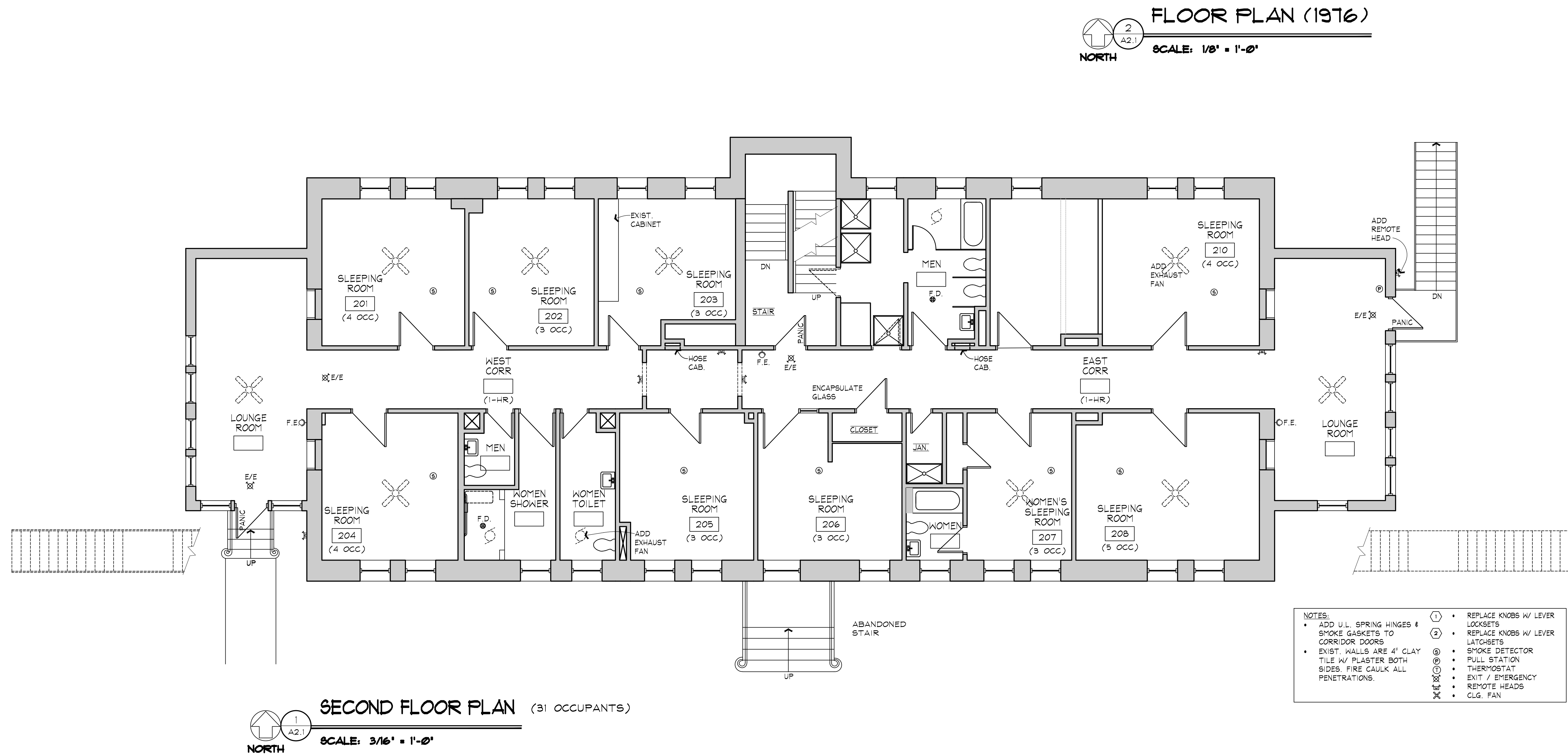
Date Nov 22, 2024

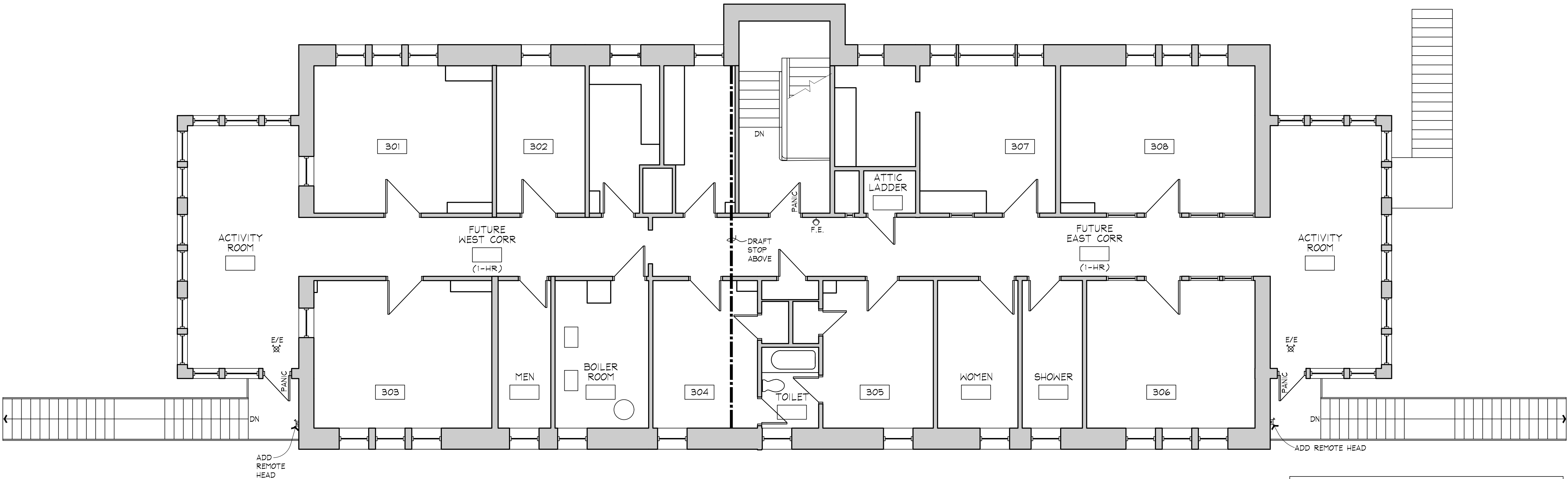
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SECOND
FLOOR PLAN

A2.1





THIRD FLOOR PLAN (NO WORK THIS FLOOR)
SCALE: 3/16" = 1'-0"
NORTH

- NOTES:
- FUTURE: ADD U.L. SPRING HINGES & SMOKE GASKETS TO CORRIDOR DOORS
 - EXIST. WALLS ARE 4" CLAY TILE W/ PLASTER BOTH SIDES. FIRE CAULK ALL PENETRATIONS.
 - ADD DRAFT STOP IN ATTIC.
 - ① • REPLACE KNOBS W/ LEVER LOCKSETS
 - ② • REPLACE KNOBS W/ LEVER LATCHSETS
 - ③ • SMOKE DETECTOR
 - ④ • PULL STATION
 - ⑤ • THERMOSTAT
 - ⑥ • EXIT / EMERGENCY REMOTE HEADS
 - ⑦ • CLG. FAN

DESIGNED	DJM
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THIRD
FLOOR PLAN
A2.2

KFI Staffing – West Lodge Narrative

KFI Staffing specifically helps manufacturers across the country fill entry-level general labor roles. KFI Staffing has a unique model that aims to level set employment needs through filling large volumes of open roles while providing housing and transportation to our temporary workforce. KFI Staffing sources talent from around the country to bring new talent pools to areas that are struggling to find quality candidates.

KFI Staffing believes that the traditional staffing model is broken. Too many HR and Plant leaders are banging their heads against the wall trying to figure out how to staff their operations. Give employees more pay, 3-4 chances, unlimited vacation, etc and it just doesn't move the needle. Long term employees that have been loyal to the organization are frustrated because the newer employee's aren't as passionate about the work as they are which leads to low moral on the floor.

When KFI Staffing partners with a manufacturing organization, we take care of finding and managing the housing, buying vans, recruiting, and getting talent to your worksite. As soon as KFI Employees are trained, our clients see an immediate impact to their production output and culture. Full-Time employees that aren't committed will either step up or step out of your organization because you found a solution that works.

KFI Staffing looks to partner with manufacturers that are committed to long-term partnerships. Our first year agreement is a minimum of 12 months before employees are eligible to be hired on at no additional cost. We also look for a minimum pay rate of \$17/hour to be able to attract the right caliber candidate and lastly at least 45 hours of work per week.

KFI Staffing employees are all eligible to live and work in the United States and able to pass E-Verify, background check, and drug screen before employment. KFI Staffing employees have the goal of being a long-term member of your team not just the average temporary solution.

KFI Staffing has been a partner to local manufacturing companies in Owatonna and surrounding area since June 2022. We currently have a little for 50 employees that live and work in the community and we hope to double that number in the next 12 months through continued existing and new client partnerships.

KFI Staffing is looking to partner with the West Lodge for long-term, employment based housing the support our staffing model. At this site, KFI Staffing will have only working employees living there, no family's or children. We also will have an onsite housing coordinating team that will be present at least 18 hours per day to help tenants with questions or housing related needs.

KFI Staffing employees are on assignments for at least 12 months before being eligible to be hired on by the client. The ultimate goal is that KFI Staffing associates eventually become full-time employees at Owatonna manufacturing sites and long-term members of the community.